

A diagram of a paper airplane. The wing is shaded with diagonal lines. A dashed line extends from the tail of the airplane, passing through the center of the shaded wing area.

LEVELS ARE BASED ON O.S.B.M SITUATED C  
St PETER'S CHURCH, VALUE 123.40m



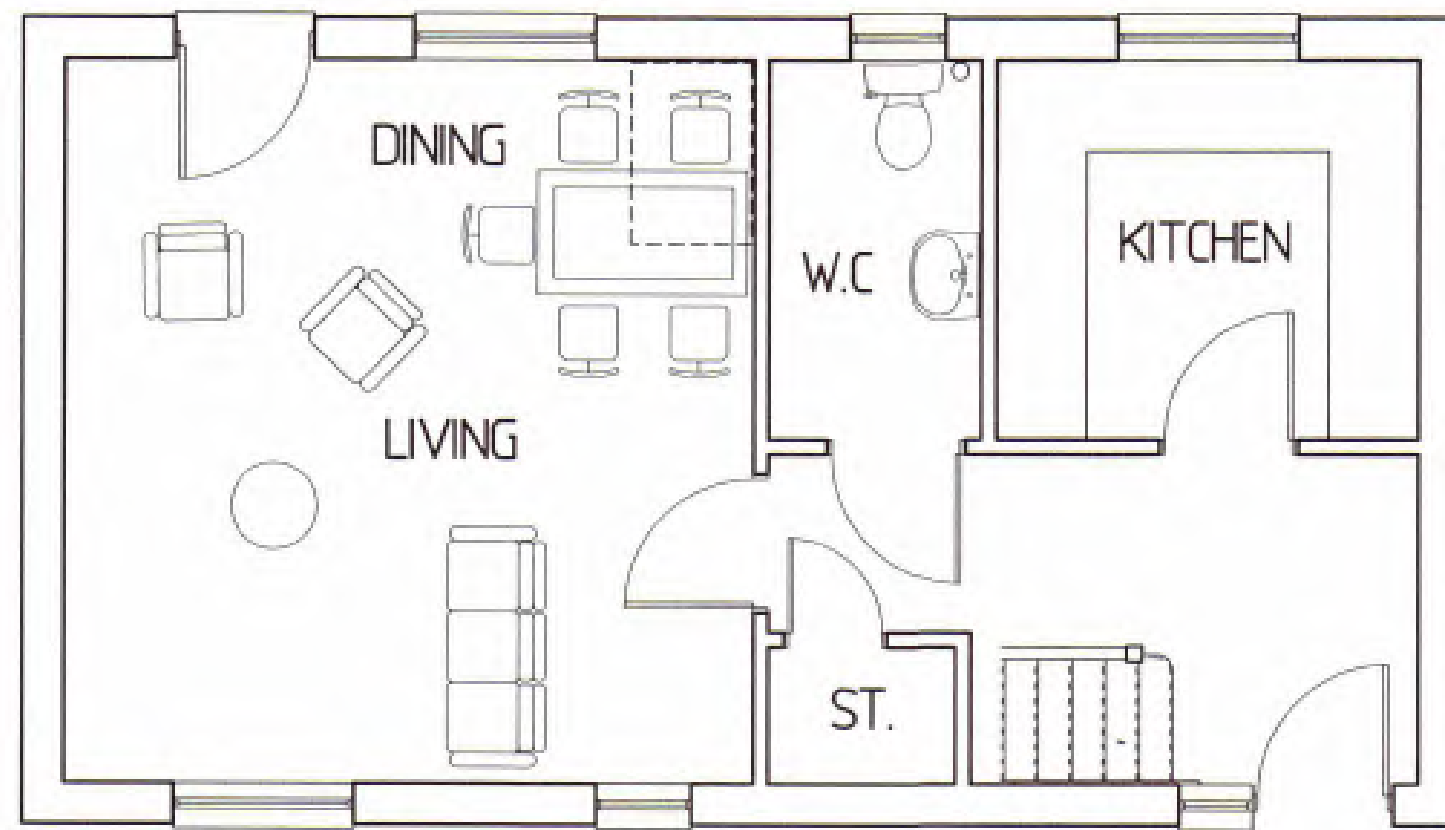
Note:  
This plan has been surveyed to the scale shown. Caution should be exercised when enlargements are made. All sewer information to be confirmed prior to any work being carried out.  
Tree species where shown should be treated with caution and expert identification is advised.  
  
Pipe sizes are estimated from surface inspection only, due to Health and Safety requirements.

Project:
BAZLEY LANE, PETERCHURCH
Land Survey

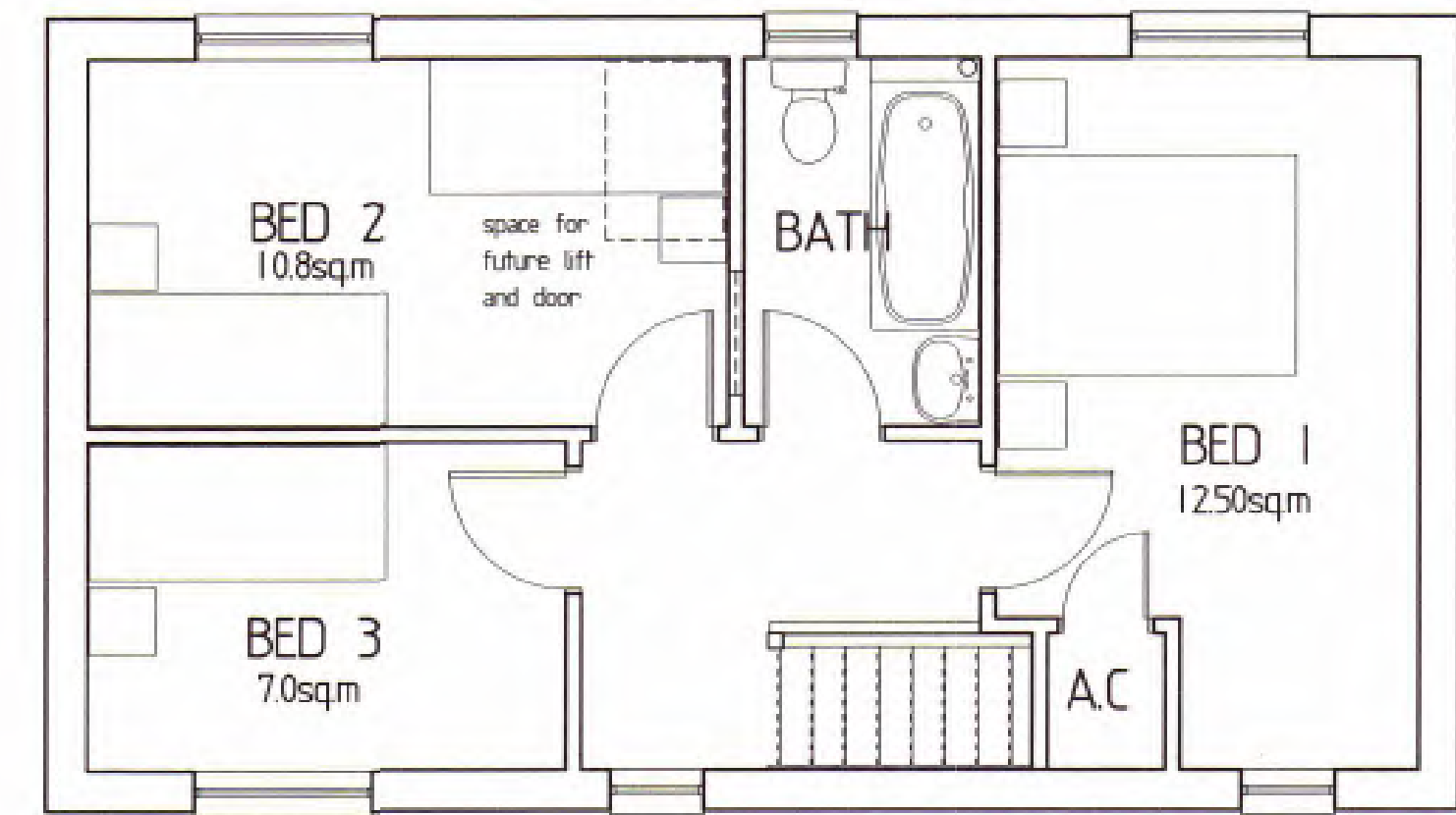
Drp No: 5049/1	Date: FEBRUARY 2002
Scale: 1/200 (A0)	Drn by: JL
Cad Scale: 1/1	

Site Data (Sutton Coldfield) Ltd.  
Site Data House  
The Courtyard  
Roman Way  
Coleshill  
West Midlands  
B46 1HQ  
Tel: 01675 430043 Fax: 01675 430133  
copyright reserved E-mail: site-data@diel.pipex.com

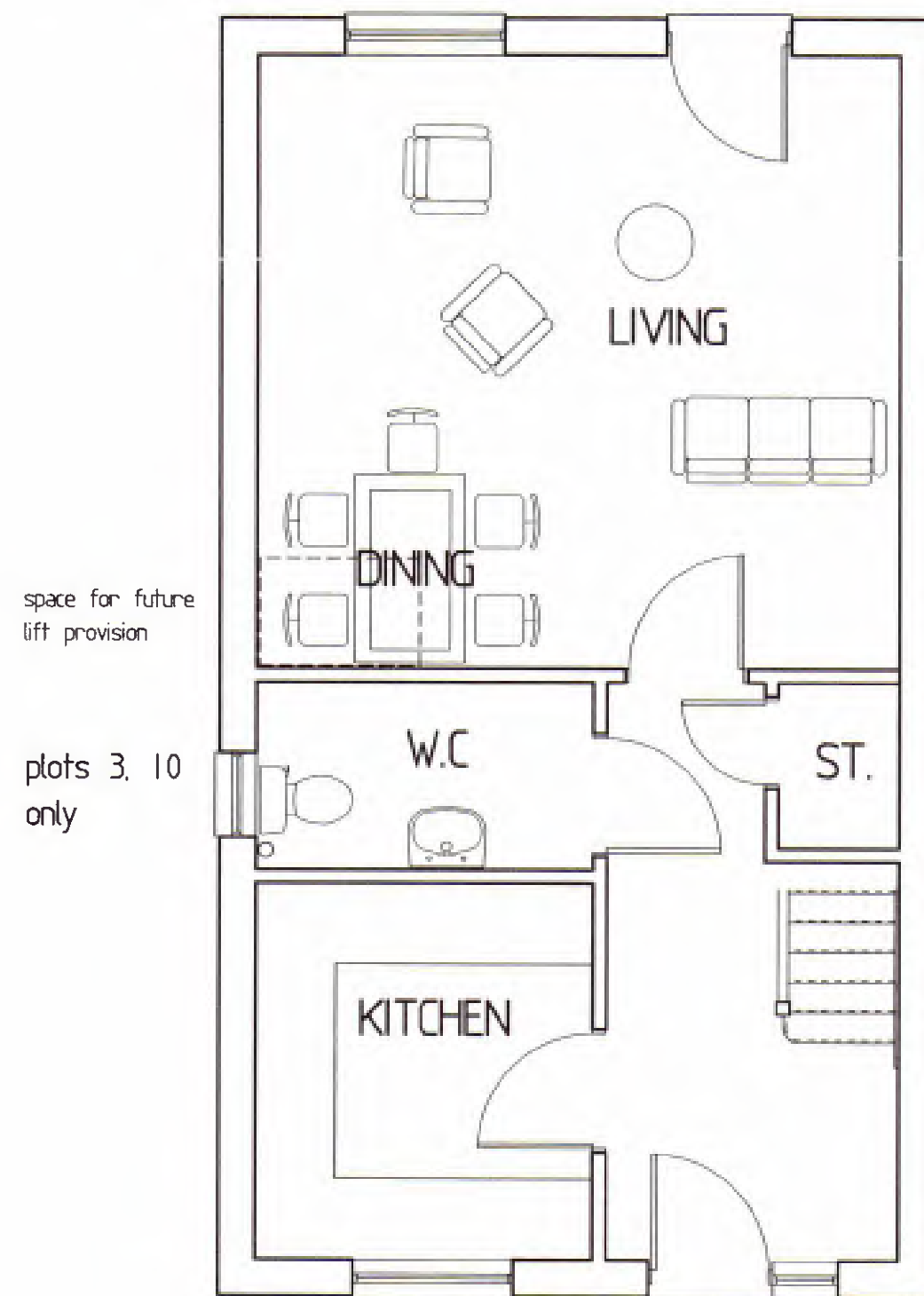




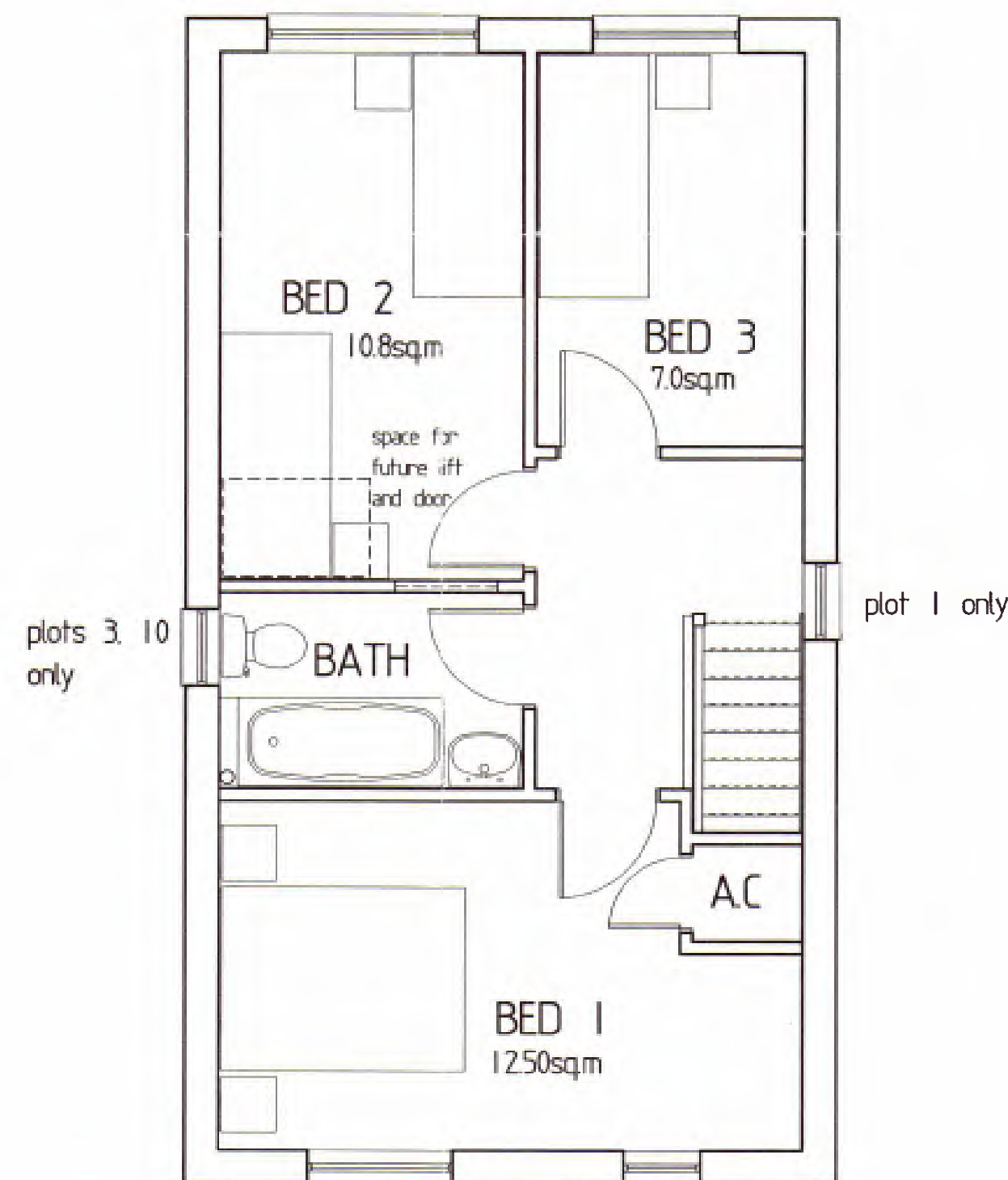
GROUND FLOOR PLAN PLOT 4



FIRST FLOOR PLAN PLOT 4



GROUND FLOOR PLAN PLOTS 5, 7, 9  
PLOTS 1, 2, 3, 6, 8, 10 HANDED



FIRST FLOOR PLAN

**SW03/3778/F**

DEVELOPMENT AT  
BAZLEY LANE  
PETERCHURCH

PROJECT

HOUSETYPE  
PLANS  
3B 5P 86sq.m LIFETIME

TITLE

FELLOWS BURT DALTON & ASSOCIATES LTD.  
ARCHITECTURE • PLANNING • DEVELOPMENT CONSULTANCY  
THE OLD TELEPHONE EXCHANGE, GIPSY LANE, BALSALL COMMON, COVENTRY,  
WARWICKSHIRE CV7 7FW. TEL 01676 53 55 30. FAX 01676 53 55 37

REVISION A: plot ref corrected on wide front  
unit 10/12/03

SCALE 1:50

DATE 11/03

DRAWING NUMBER 262 / 02 A

NORTH



FRONT ELEVATIONS



SIDE AND REAR ELEVATIONS



FRONT ELEVATIONS

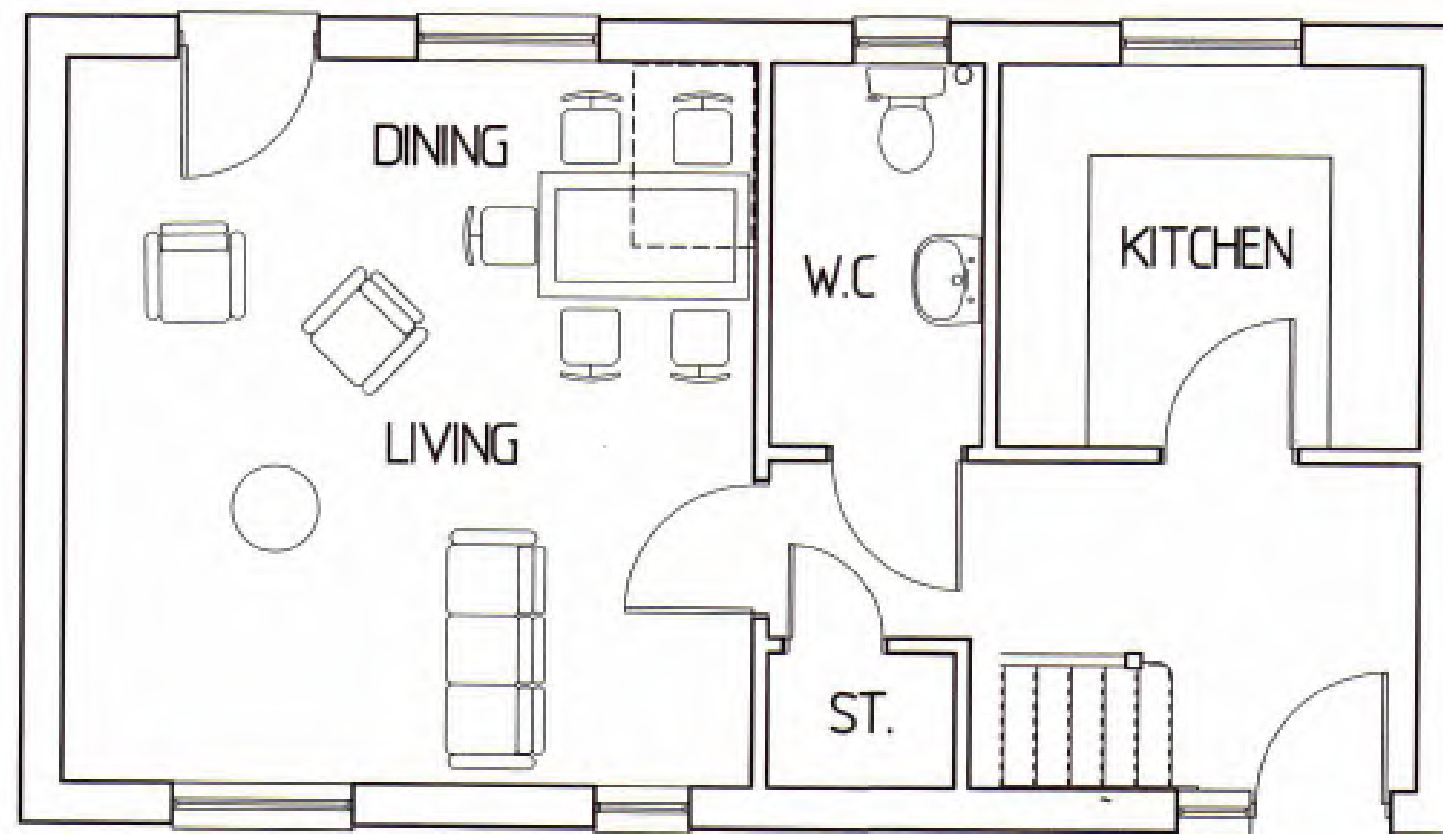


SIDE AND REAR ELEVATIONS

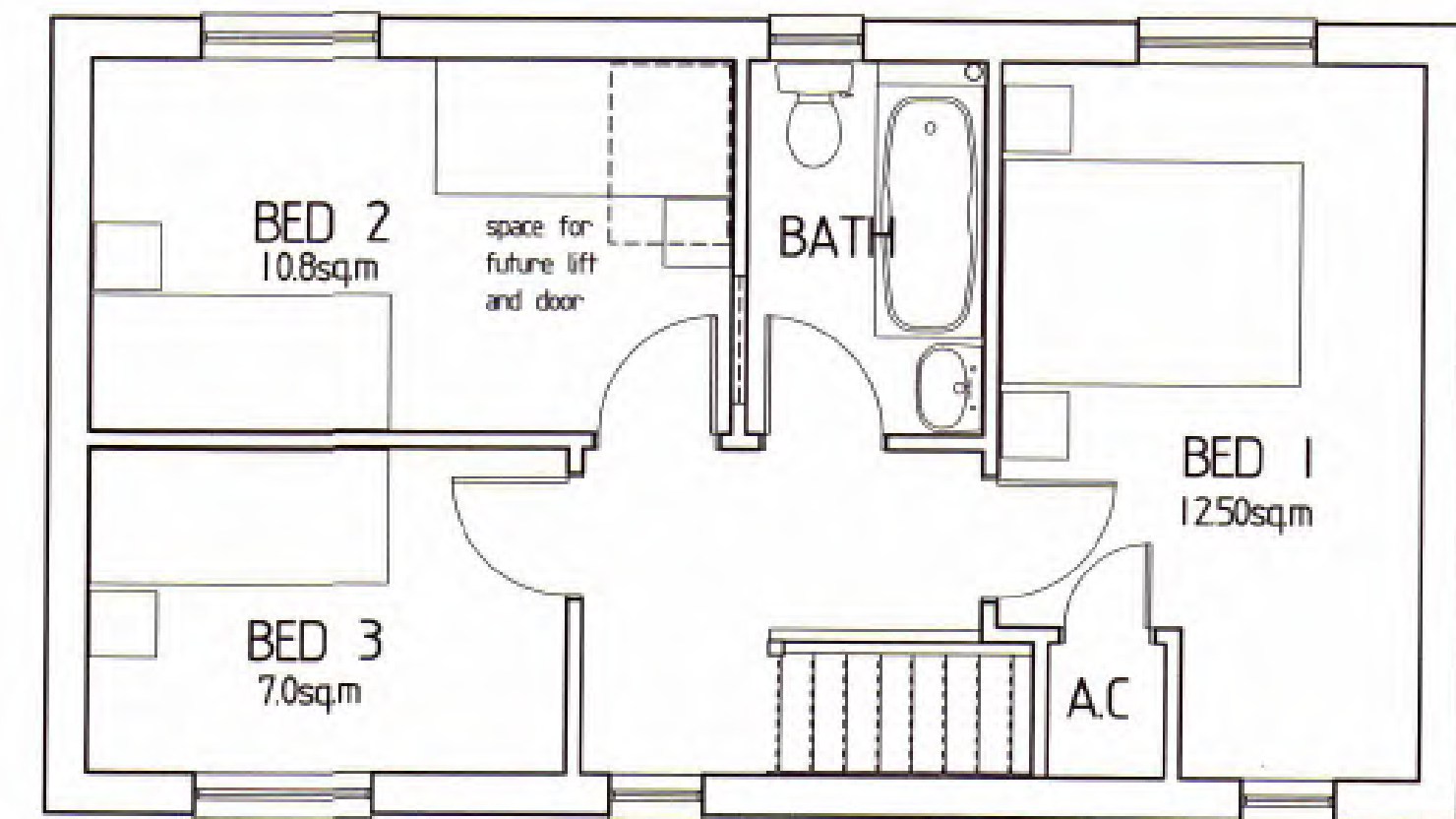


DEVELOPMENT AT BAZLEY LANE PETERCHURCH	
PROJECT	
ELEVATIONS	
TITLE	
FELLOWS BURT DALTON & ASSOCIATES LTD. ARCHITECTURE o PLANNING o DEVELOPMENT CONSULTANCY THE OLD TELEPHONE EXCHANGE, GIPSY LANE, BALSALL COMMON, COVENTRY, WARWICKSHIRE CV7 7FW. TEL 01676 53 55 30. FAX 01676 53 55 37	
SCALE 1:100 1:200 DATE 11/03	REVISION A : Additional info added 10/12/03 B : Half hipped roofs omitted. Lean to porches to plots 4-10. dng. no. changed to 262 from 048 APRR 04
DRAWING NUMBER 262 / 03	B

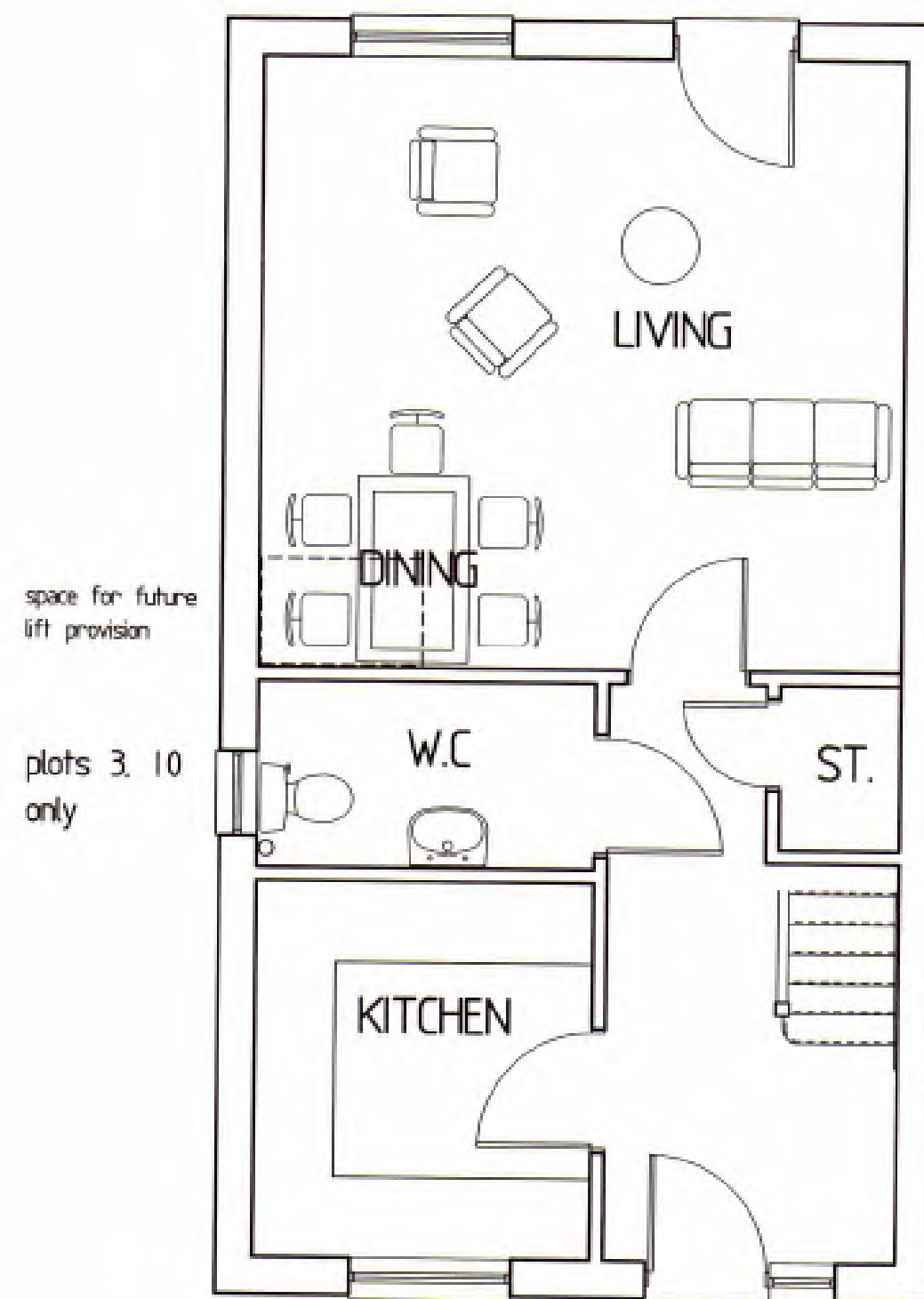




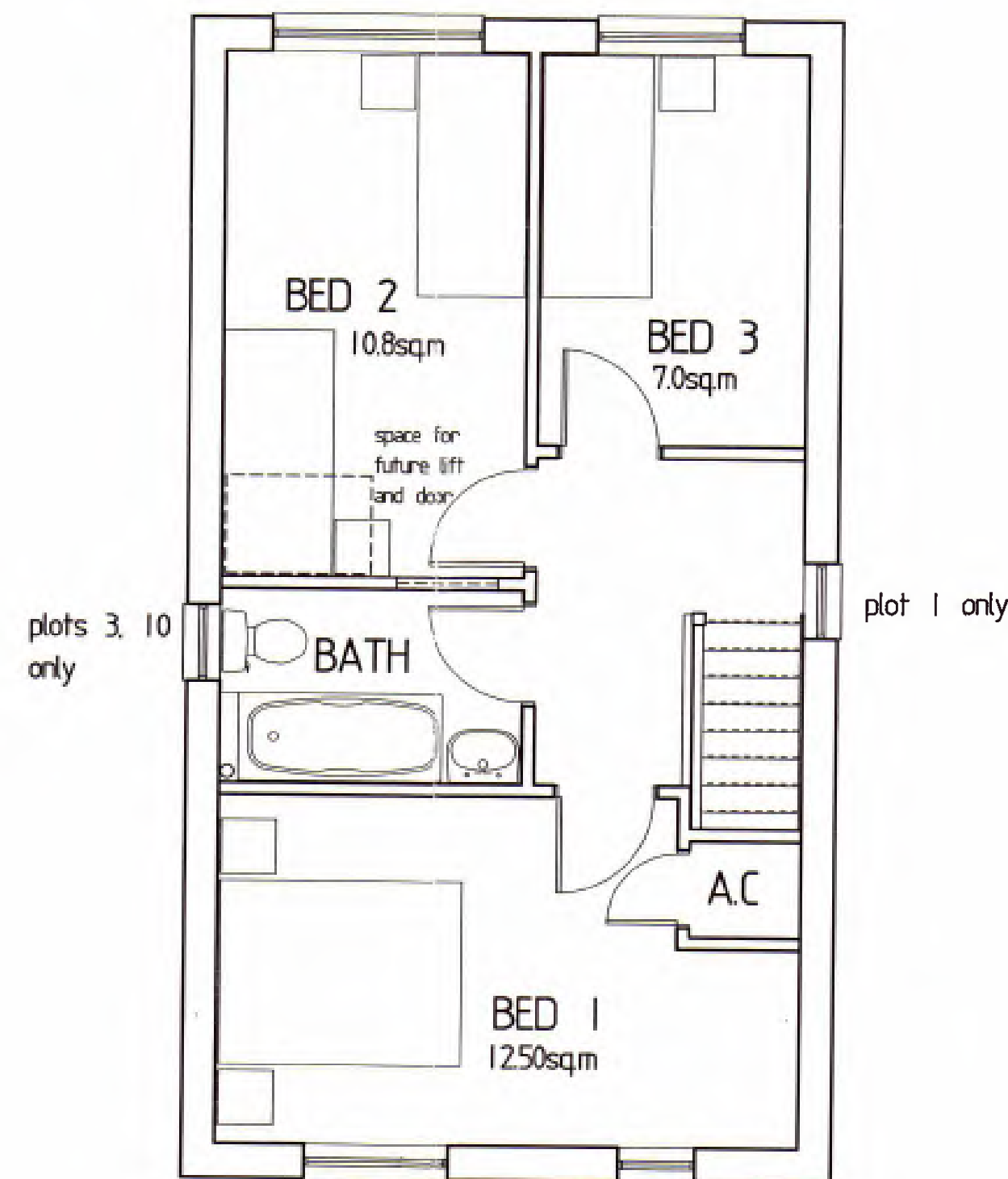
GROUND FLOOR PLAN PLOT 10



FIRST FLOOR PLAN



GROUND FLOOR PLAN PLOTS 5, 7, 9  
PLOTS 1, 2, 3, 6, 8, 10 HANDED



FIRST FLOOR PLAN



DEVELOPMENT AT BAZLEY LANE PETERCHURCH	
PROJECT	HOUSETYPE PLANS
TITLE	3B 5P 86sq.m LIFETIME
FELLOWS BURT DALTON & ASSOCIATES LTD. ARCHITECTURE o PLANNING o DEVELOPMENT CONSULTANCY THE OLD TELEPHONE EXCHANGE, GPSY LANE, BALSALL COMMON, COVENTRY, WARWICKSHIRE CV7 7FW. TEL 01676 53 55 30. FAX 01676 53 55 37	
REVISION	DATE
SCALE 1:50	DATE 11/03
DRAWING NUMBER	262 / 02
NORTH	

20 APR 2004



FRONT ELEVATIONS



SIDE AND REAR ELEVATIONS



FRONT ELEVATIONS



SIDE AND REAR ELEVATIONS

DEVELOPMENT AT  
BAZLEY LANE  
PETERCHURCH



PROJECT

ELEVATIONS

TITLE

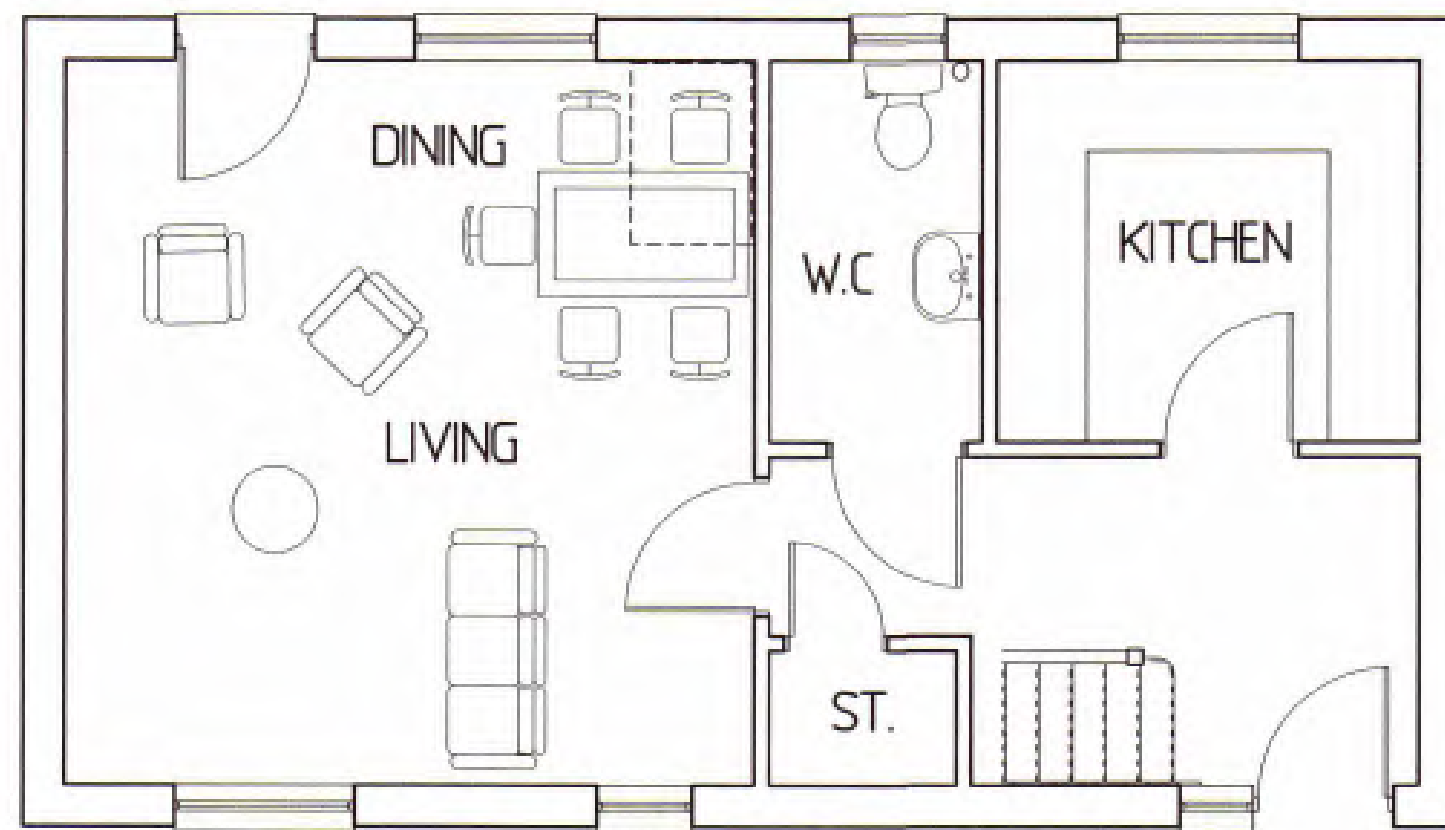
FELLOWS BURT DALTON & ASSOCIATES LTD.

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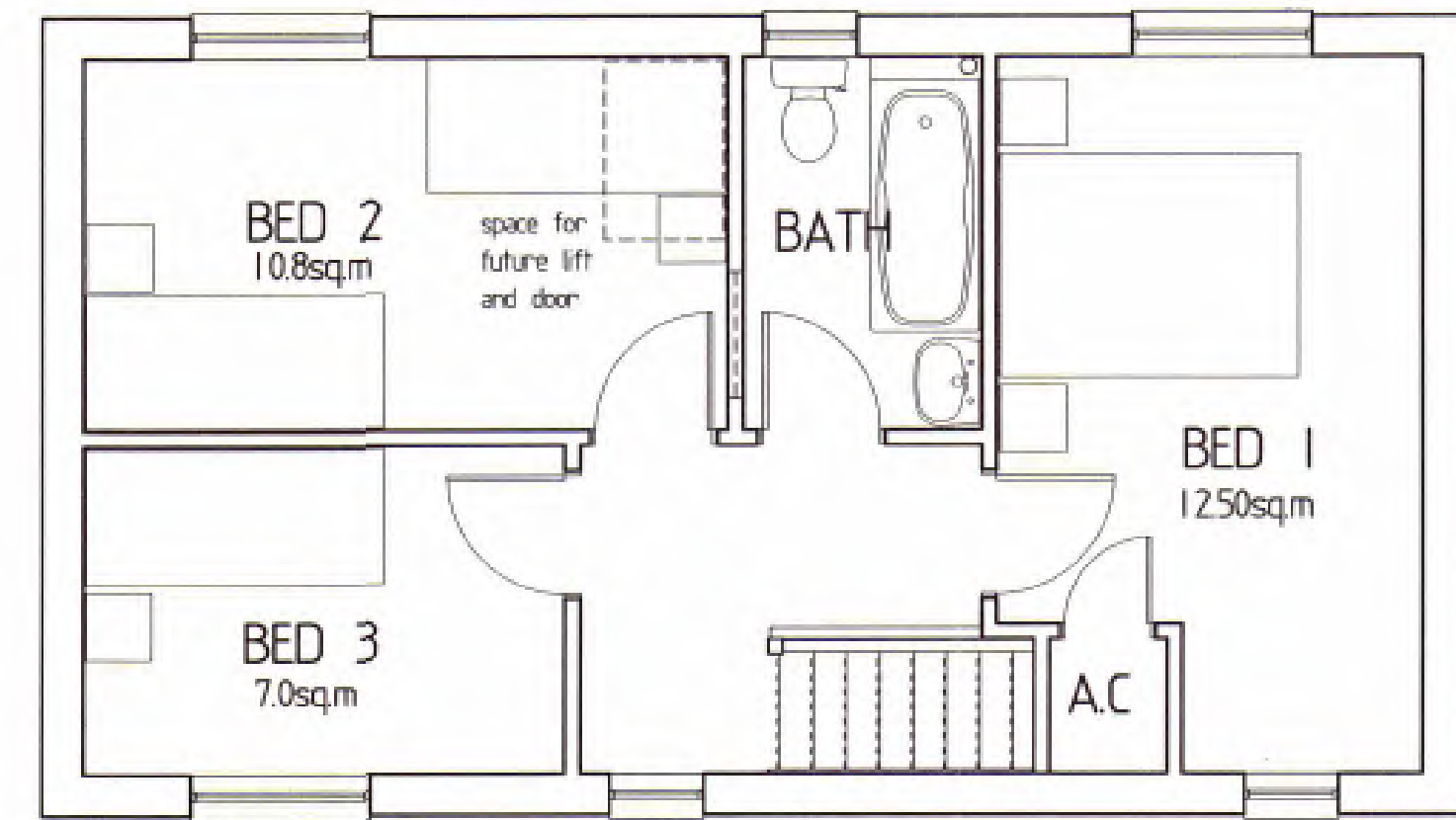
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	A : Additional info added	10/12/03
SCALE	1:100	
	1:200	
DATE	11/03	
	DRAWING NUMBER	048 / 03
		A



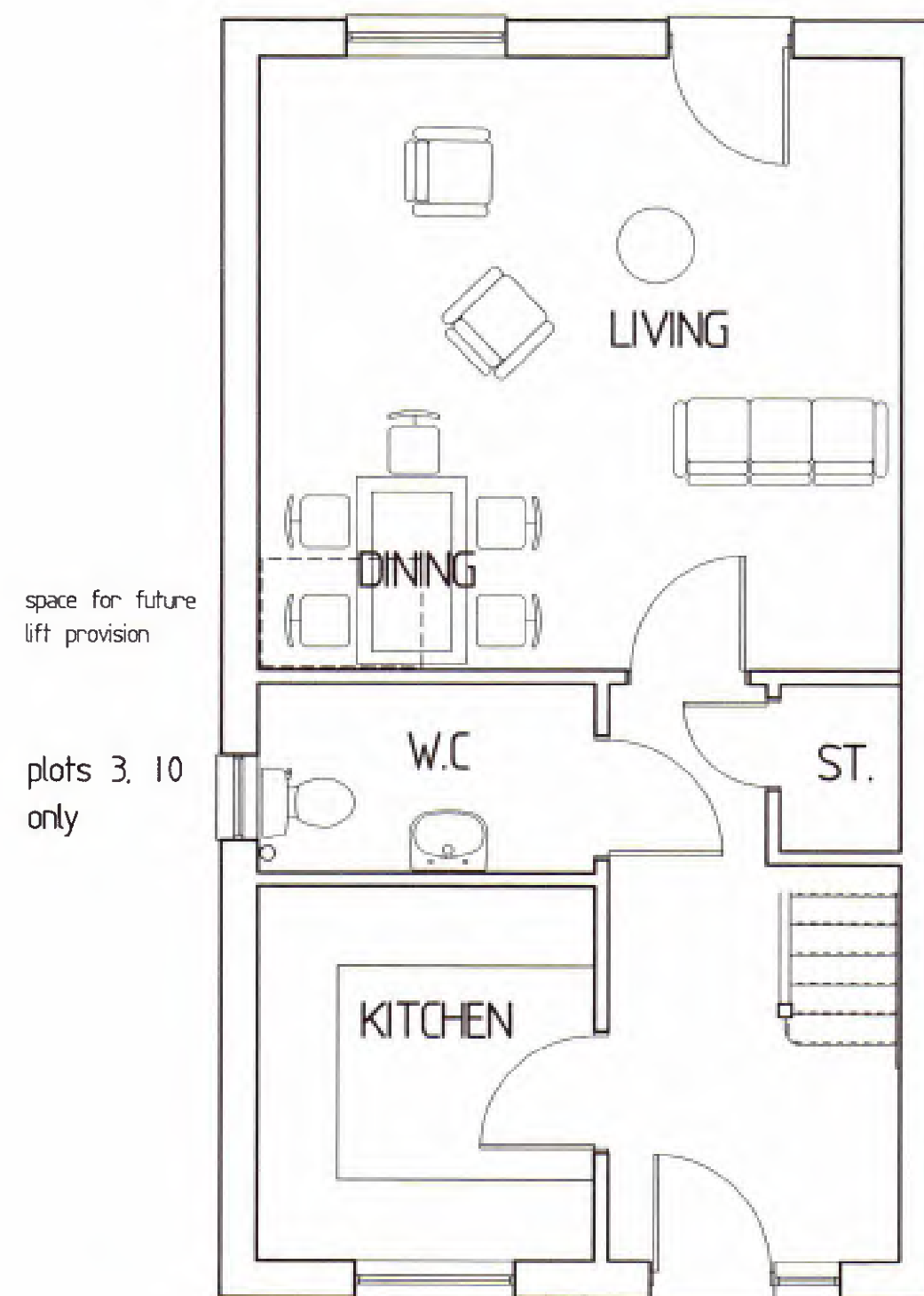




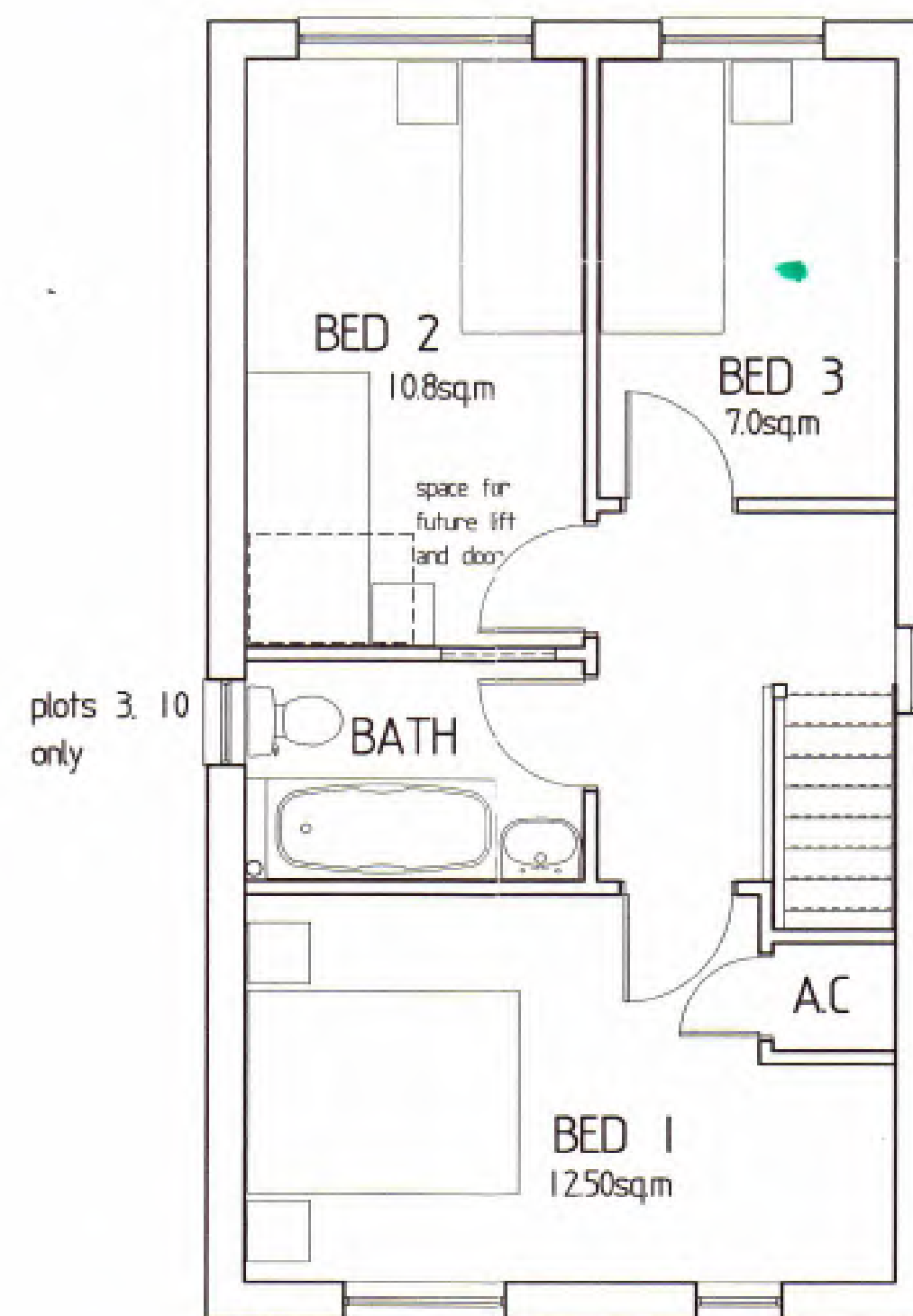
GROUND FLOOR PLAN PLOT 4



FIRST FLOOR PLAN PLOT 4



GROUND FLOOR PLAN PLOTS 5, 7, 9  
PLOTS 1, 2, 3, 6, 8, 10 HANDED



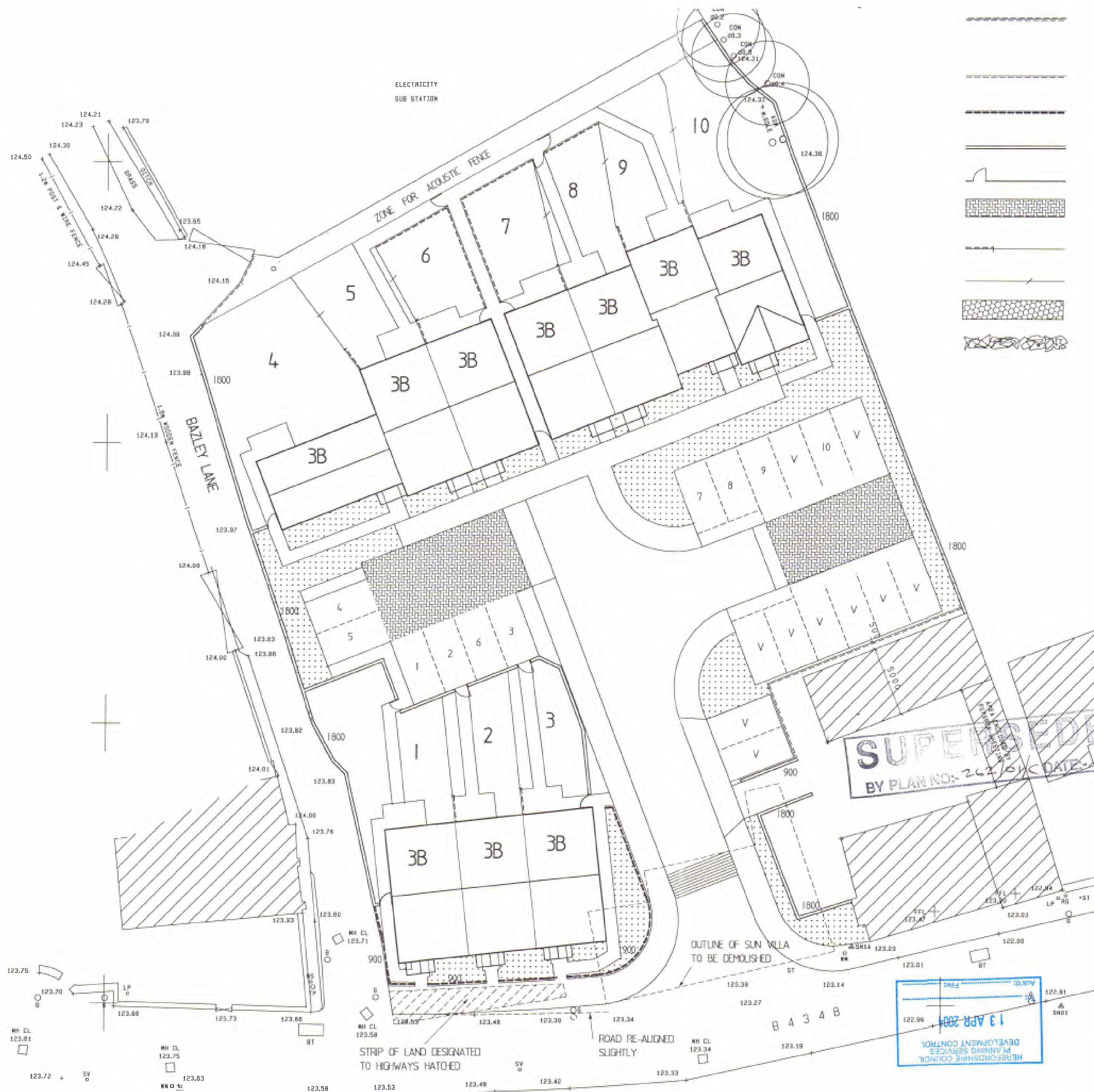
FIRST FLOOR PLAN

SW03/3778/F

**SUPERSELL**  
BY PLAN NO: 262/02 DATE: 11/03

DEVELOPMENT AT BAZLEY LANE PETERCHURCH	
PROJECT	HOUSETYPE PLANS
TITLE	3B 5P 86sq.m LIFETIME
FELLOWS BURT DALTON & ASSOCIATES LTD. ARCHITECTURE • PLANNING • DEVELOPMENT CONSULTANCY THE OLD TELEPHONE EXCHANGE, GIPSY LANE, BALSALL COMMON, COVENTRY, WARWICKSHIRE CV7 7FW. TEL 01676 53 55 30. FAX 01676 53 55 37	
 SCALE 1:50 DATE 11/03 NORTH	REVISION A: plot ref connected on wide front unit 10/12/03 DRAWING NUMBER 262 / 02 A





- 1800 close board fence with conc. posts with 300 high trellis on top ( 2100 total )
- 1800 close board fence with conc. posts
- 900 or 1200 westminster railing
- screen wall 1.8 = 1800 high 0.9 = 900 high
- 1800 high lockable gate
- block paving
- 1800 larch lap privacy panel
- 900 high post & rail
- stone setts or similar
- new planting

DEVELOPMENT AT  
BAZLEY LANE  
PETERCHURCH

SITE LAYOUT

FELLOWS BURT DALTON & ASSOCIATES LTD.  
ARCHITECTURE o PLANNING o DEVELOPMENT CONSULTANCY  
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SCALE 1:200

DATE 11/03

NORTH

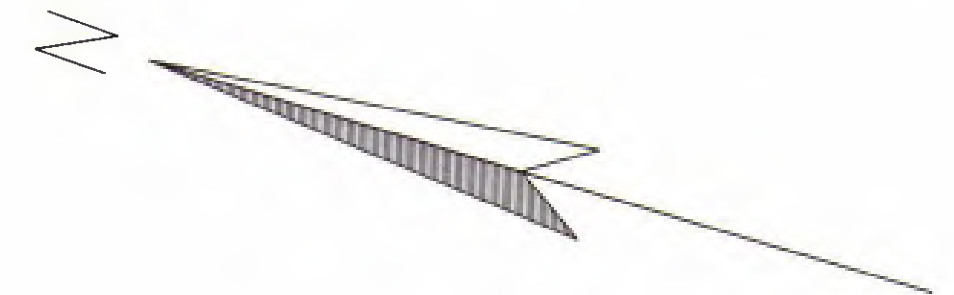
REVISION A : GARDEN TO PLOT 1 ALTERED 10/12/03

B ROAD NAMES ALTERED. BOUNDARY TO BAZLEY LANE & OSBOURNE HOUSE TO BRICK WALL APR 04

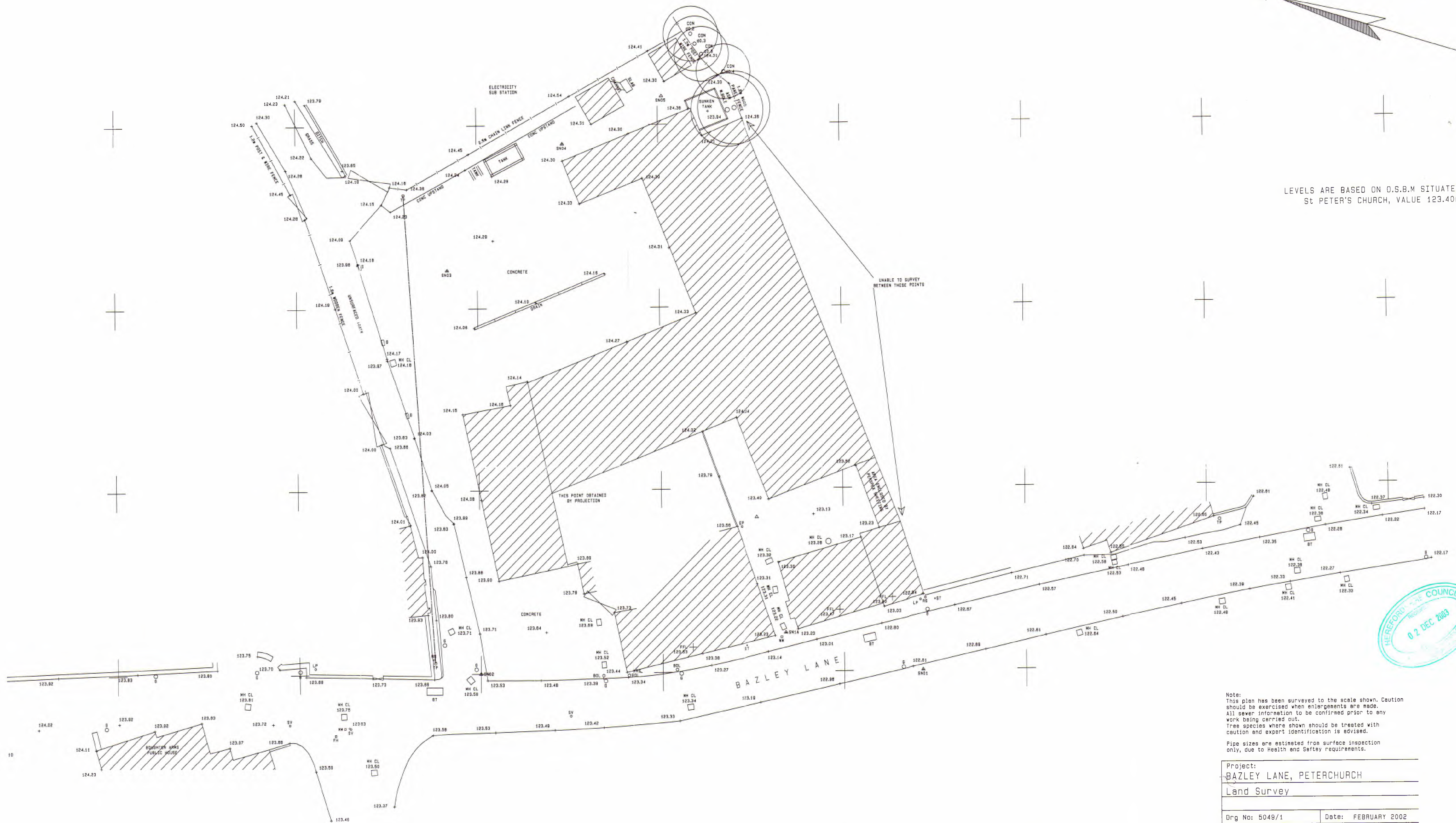
DRAWING NUMBER 262 / 01 B

HEREFORDSHIRE COUNCIL  
PLANNING SERVICES  
13 APR 2004  
FILED





LEVELS ARE BASED ON O.S.B.M SITUATED (St PETER'S CHURCH, VALUE 123.40m

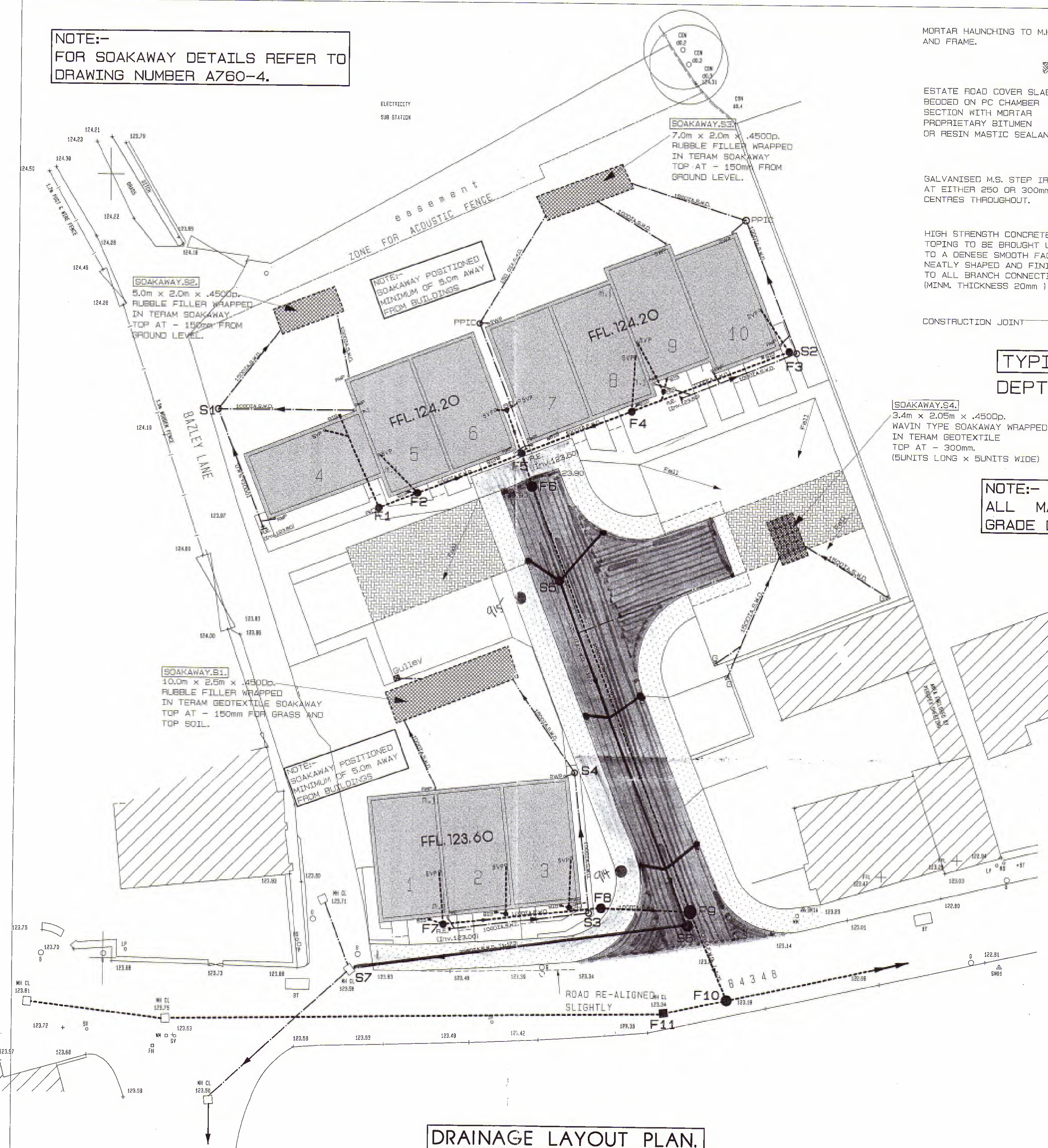


Note:  
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Tree species where shown should be treated with caution and expert identification is advised.  
Pipe sizes are estimated from surface inspection only, due to Health and Safety requirements.

Project: BAZLEY LANE, PETERCHURCH	
Land Survey	
Org No: 5049/1	Date: FEBRUARY 2002
Scale: 1/200 (AO)	Drn by: JL
Cad Scale: 1/1	
Site Data (Sutton Coldfield) Ltd. Site Data House The Courtyard Roman Way Coleshill West Midlands B46 1HD Tel: 01675 430043 Fax: 01675 430133 copyright reserved E-mail: site-data@dia1.pipex.com	



NOTE:-  
FOR SOAKAWAY DETAILS REFER TO  
DRAWING NUMBER A760-4.



DRAINAGE LAYOUT PLAN.

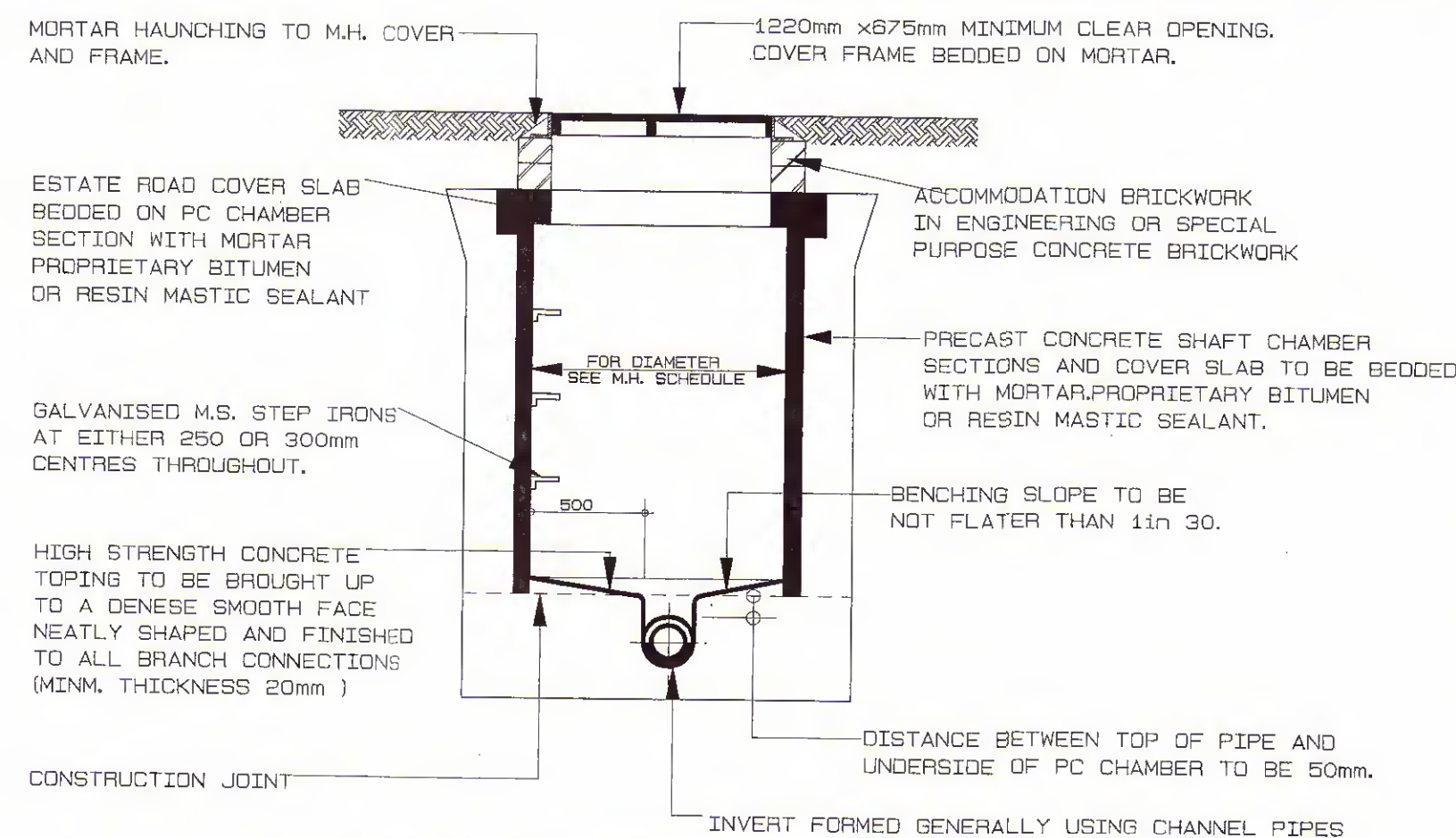
## PRIVATE DRAINAGE

NEW PRIVATE UNDERGROUND DRAINAGE IS TO BE AN APPROVED CLAYWARE SYSTEM WITH FLEXIBLE JOINTS, OR AN APPROVED U.P.V.C SYSTEM. PIPES SHALL BE LAID WITH 100mm BED AND SURROUND OF PEA GRAVEL. DRAINS PASSING THROUGH WALLS AND FOUNDATIONS SHALL HAVE A LINTELLED OPENING TO GIVE 50 mm MINIMUM CLEARANCE ALL ROUND.

WHERE DRAINS ARE LAID IN COMPACTED BACKFILL (eg BENEATH FLOOR SLAB), FLEXIBLE JOINTS SHALL BE PROVIDED AT 750mm CENTRES. DRAINS PASSING THROUGH VEHICLE HARDSTANDINGS AND DRIVEWAYS SHALL BE BACKFILLED WITH HARDCORE.

WHERE DRAIN TRENCHES ARE EXCAVATED NEAR BUILDINGS BELOW FOUNDATION DEPTH, THEN WITHIN 1m OF THE BUILDING THEY SHALL BE BACKFILLED TO FOUNDATION LEVEL WITH CONCRETE. BEYOND 1m THEN BACKFILL WITH CONCRETE UPTO A LINE 45 DEGREES FROM THE NEAREST FOUNDATION.

WHERE PPI CHAMBERS ARE LOCATED WITHIN 1.5m FROM VEHICULAR AREAS, THEN THEY SHALL HAVE A 150mm CONCRETE COLLAR SURROUND.



TYPICAL MANHOLE DETAIL-TYPE.A.  
DEPTH TO SOFFIT 1.0m to 1.350m

SOAKAWAY.S4.  
3.4m x 2.05m x .450dp.  
WAVIN TYPE SOAKAWAY WRAPPED  
IN TERAM GEOTEXTILE  
TOP AT - 300mm.  
(5UNITS LONG x 5UNITS WIDE)

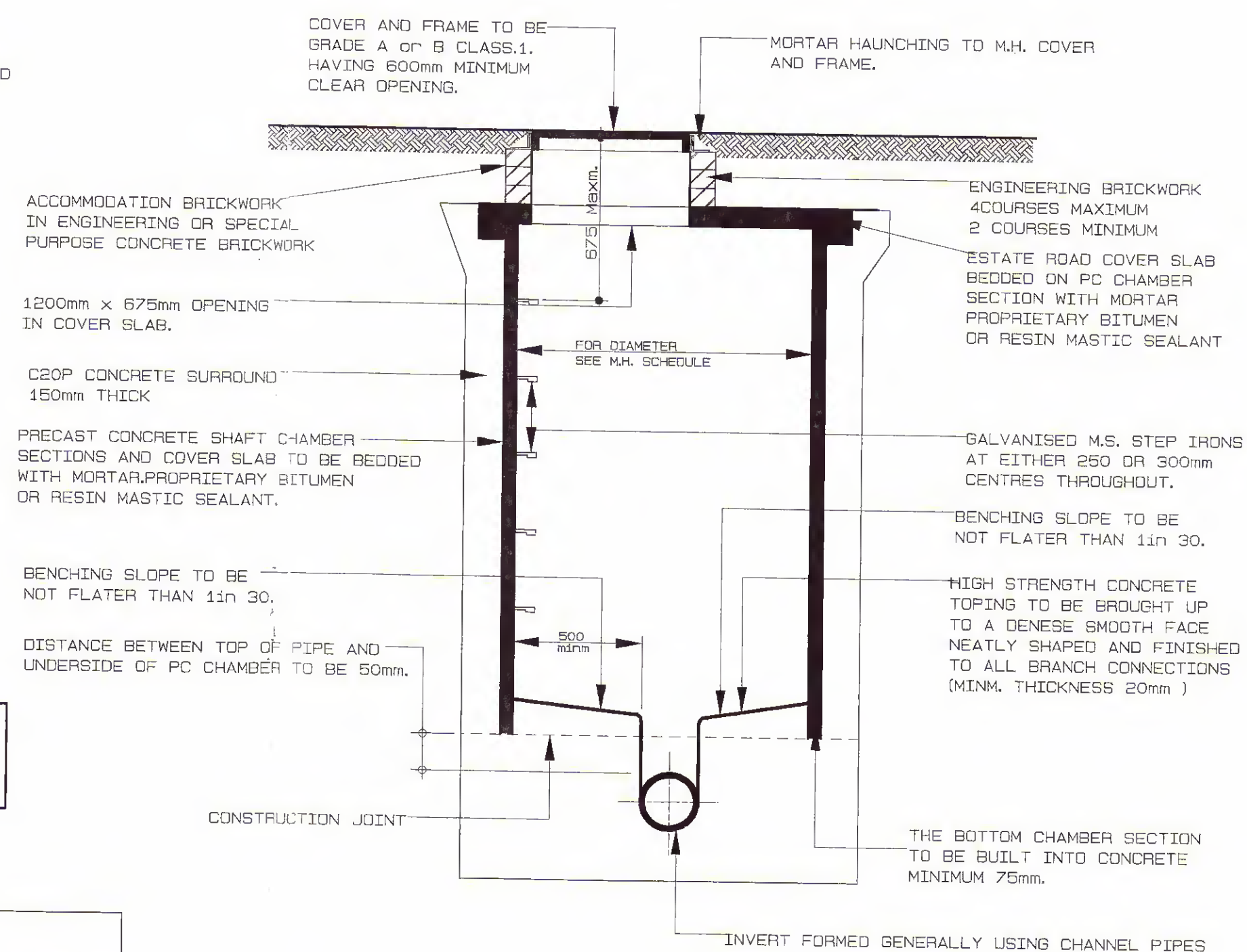
NOTE:-  
ALL MANHOLES COVERS TO COMPLY WITH BSEN:124(1994)  
GRADE D400.

STORM WATER MANHÖLES SCHEDULE				
MANHOLE REF.	COVER LVL	INVERT LVL	MANHOLE SIZE	DETAIL REF.
S1	124.00	123.50	4500IA.PP.C.	——
S2	124.00	123.60	4500IA.PP.C.	——
S3	123.40	122.85	4500IA.PP.C.	——
S4	123.40	122.75	4500IA.PP.C.	——
S5	123.74	122.45	1350DIA. CONCRETE	TYPE.A.
S6	123.205	122.200	1350DIA. CONCRETE	TYPE.A.
S7	*123.58	*122.05	EXISTING	L.A. MANHOLE

NOTE:-  
ALL ADOPTED STORM DRAINS WITH TOP COVER LESS THAN 1000mm  
BENEATH ROAD TO BE ENCASED 150mm CONCRETE SURROUND.





FOUL WATER MANHOLES SCHEDULE				
MANHOLE REF.	COVER LVL	INVERT LVL	MANHOLE SIZE	DETAIL REF.
F1	124.05	123.60	450DIA.PPIC.	———
F2	124.05	123.55	450DIA.PPIC.	———
F3	124.05	123.60	450DIA.PPIC.	———
F4	124.05	123.40	450DIA.PPIC.	———
F5	124.05	123.30	450DIA.PPIC.	———
F6	123.900	122.70	1350DIA. CONCRETE	TYPE.A.
F7	123.450	122.70	450DIA.PPIC.	———
F8	123.45	122.55	450DIA.PPIC.	———
F9	*123.205	121.85	1350DIA. CONCRETE	TYPE.A.
F10	*123.19	*120.80	1200DIA. CONCRETE	TYPE.B.
F11	*123.34	*120.90	EXISTING L.A.	MANHOLE

\* INDICATES LEVELS TO BE CHECKED AND CONFIRMED ON SITE.



TYPICAL MANHOLE DETAL-TYPE.B.  
DEPTH TO SOFFIT 1.35m To 3m.

LEGEND : —

 S.W.D. DENOTES STORM WATER DRAINS.  
 S.W.D. DENOTES RODDING EYE  
 F.W.D. DENOTES FOUL WATER DRAIN RUN  
 F.W.D. DENOTES FOUL WATER DRAIN RUN WITH 250 DIA PPIC. INSPECTION CHAMBER.

D	SOAKAWAYS ADDED	23.11.04
C	FURTHER INFORMATION ADDED	24.9.04
B	GENERAL REVISIONS	16-9-04
A	FURTHER INFORMATION ADDED	25.8.04
rev.	amendment	date

ARCHITECT  
FELLOW BURT DALTON & ASSOCIATES LTD  
THE OLD TELEPHONE EXCHANGE  
GIPSY LANE  
BALSALL COMMON  
COVENTRY CV7 7FW.

CONTRACT  
RESIDENTIAL DEVELOPMENT  
BAZLEY LANE  
PETERCHURCH.  
TITLE  
GENERAL ARRANGEMENT OF  
DRAINAGE

LV INGRAM+ PARTNERS  
consultant structural and civil engineers

LVI  
+p

Allen House  
69/71 Birmingham Road  
West Bromwich  
West Midlands B70 6PY  
Tel: 0121 525 8000  
(4 Lines)  
Fax: 0121 553 0650

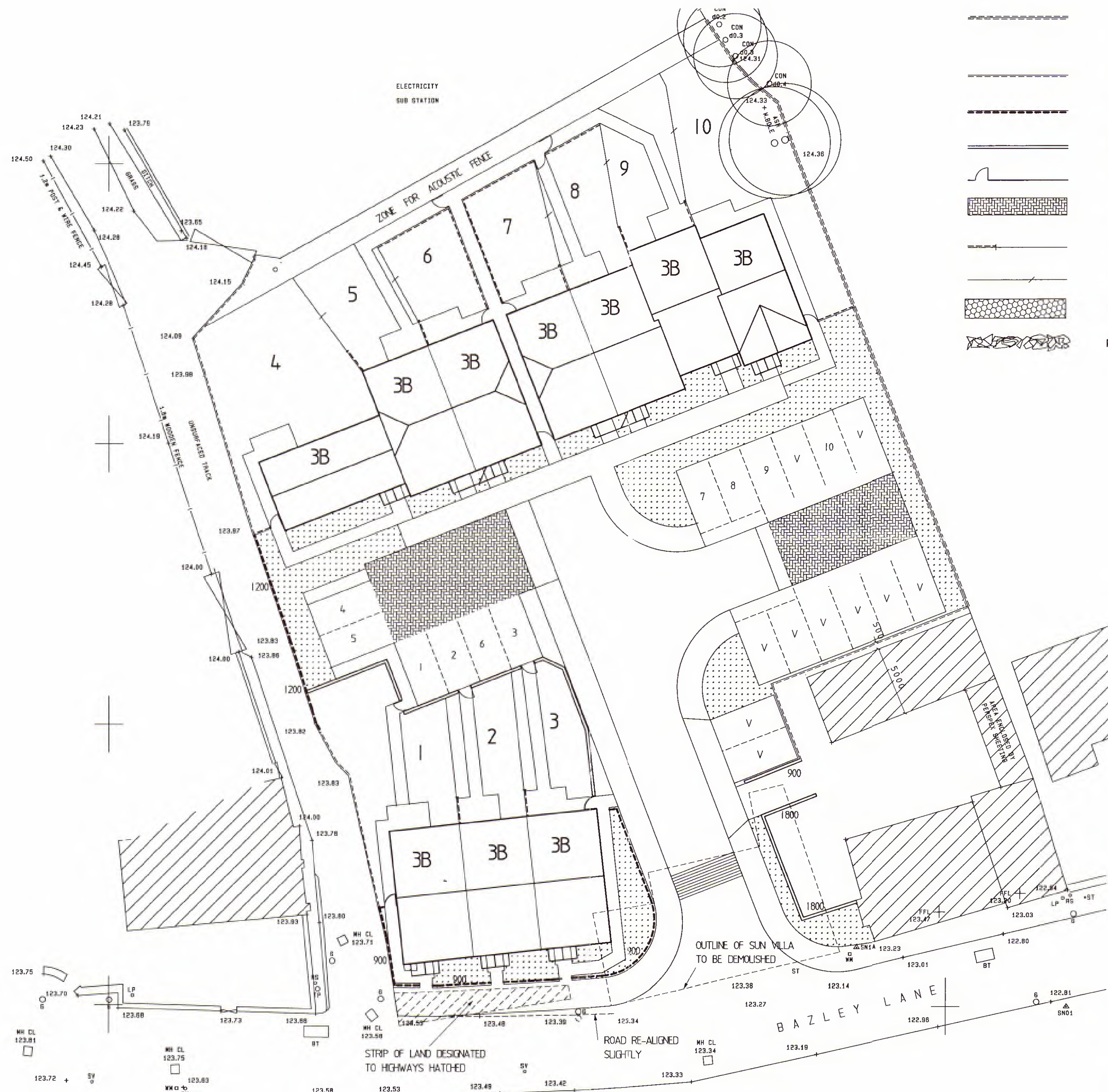
SCALE 1 : 200

DRAWN: L.S.	DATE: JULY.04.
DRG. No. A760-1	REV. D













- 1800 close board fence with conc. posts
- 900 or 1200 westminster railing  
note : 1200 railing to Bazley La. boundary over  
conc. road kerb along boundary line
- screen wall 1.8 = 1800 high 0.9 = 900 high
- 600 high wall with 1200 close board fence on  
top ( no piers ) Bazley Lane boundary
- walls to have brick on edge coping with a double -  
1800 high lockable gate clay tile crease
- block paving
- 1800 larch lap privacy panel
- 900 chain link fence on conc. posts
- stone setts or similar
- grassed areas
- 2 no. galv.steel clothes posts 6m apart  
adjacent 900 wide path

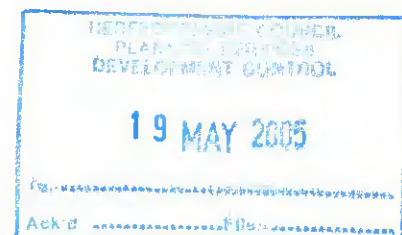
#### TREES

- 1..... Alnus Incana 'Aurea'
- 2..... Malus 'John Downie'

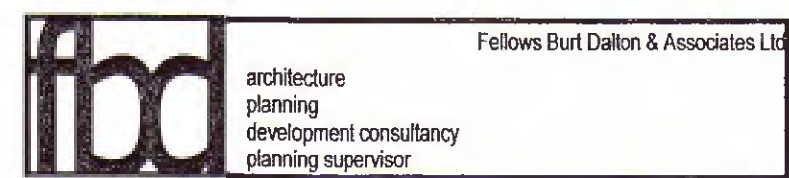
#### SHRUBS

- A..... Euonymus Fortunei 'Silver Queen'
- B..... Hedera Helix 'Buttercup'
- C..... Hypericum Calycinum
- D..... Cotoneaster Skogholm
- E..... Cotoneaster Oakwood
- F..... Pyracantha Orange Glow
- G..... Mahonia Aquifolium

ALL SHRUBS 3 Ltr 20/30 cm AT APPROX  
3 PER SQ. M. ( nos in brackets )



Revision: Date: Description:

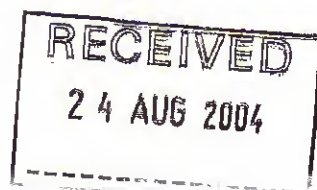


Project  
**DEVELOPMENT AT  
BAZLEY LANE  
PETERCHURCH**

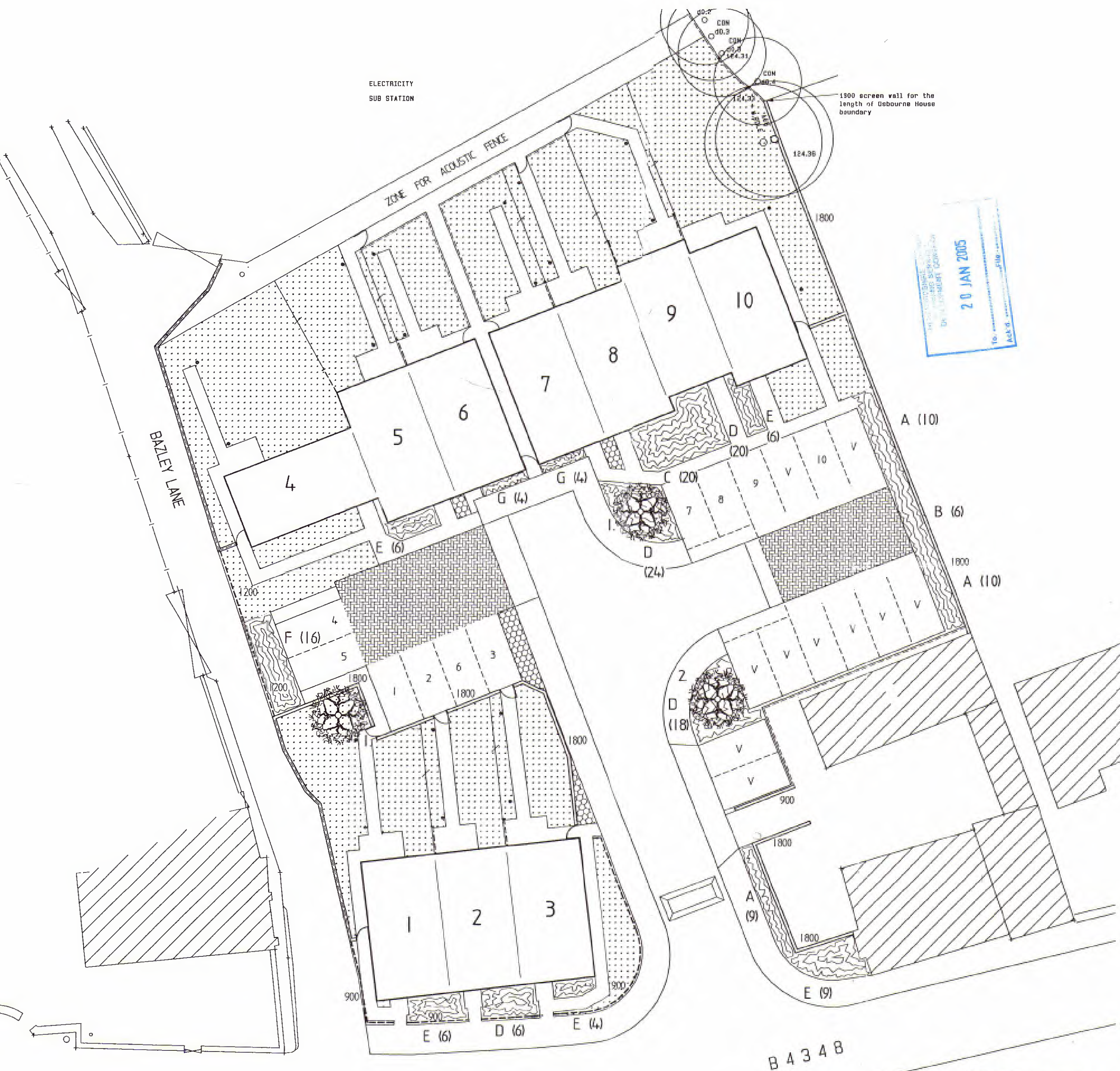
Title  
**EXTERNAL WORKS**

1:200 Scale: AUG 04 Date: 262 / 15 Drawing No: - Revision:

The Old Telephone Exchange Gipsy Lane Balsall Common Warwickshire CV7 7FW  
T:01676 535530 F:01676 535537 E:info@fda.co.uk www.fda.co.uk RIBA







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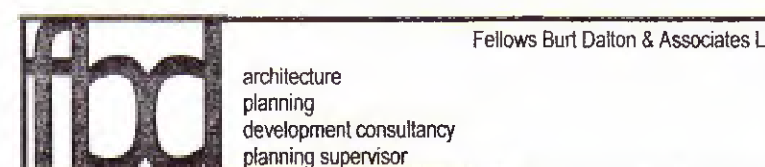
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Project: DEVELOPMENT AT BAZLEY LANE PETERCHURCH

Title: EXTERNAL WORKS

Scale:	Date:	Drawing No:	Revision:
1:200	AUG 04	262 / 15	-

The Old Telephone Exchange Gipsy Lane Balsall Common Warwickshire CV7 7FW  
T:01676 535530 F:01676 535537 E:info@fbd.co.uk www.fbd.co.uk RIBA

RECEIVED  
24 AUG 2004







S

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with 300 high trellis on top ( 2100 total )

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new planting



DEVELOPMENT AT  
BAZLEY LANE  
PETERCHURCH

PROJECT

## SITE LAYOUT

TITLE
-------

FELLOWS BURT DALTON & ASSOCIATES LTD.

ARCHITECTURE o PLANNING o DEVELOPMENT CONSULTANCY  
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WARWICKSHIRE CV7 7FW. TEL 01676 53 55 30. FAX 01676 53 55 37

**F.B.I.**

REVISION

SCALE 1:200

DATE 11/03

DRAWING  
NUMBER

262 / 01

NORTH

02 DEC 200





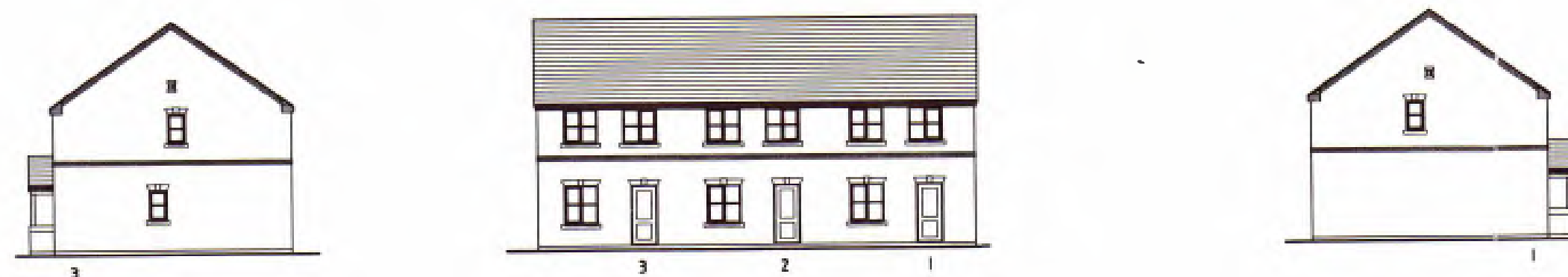
FRONT ELEVATION



SIDE AND REAR ELEVATIONS



FRONT ELEVATION



SIDE AND REAR ELEVATION



DEVELOPMENT AT  
BAZLEY LANE  
PETERCHURCH



PROJECT

ELEVATIONS

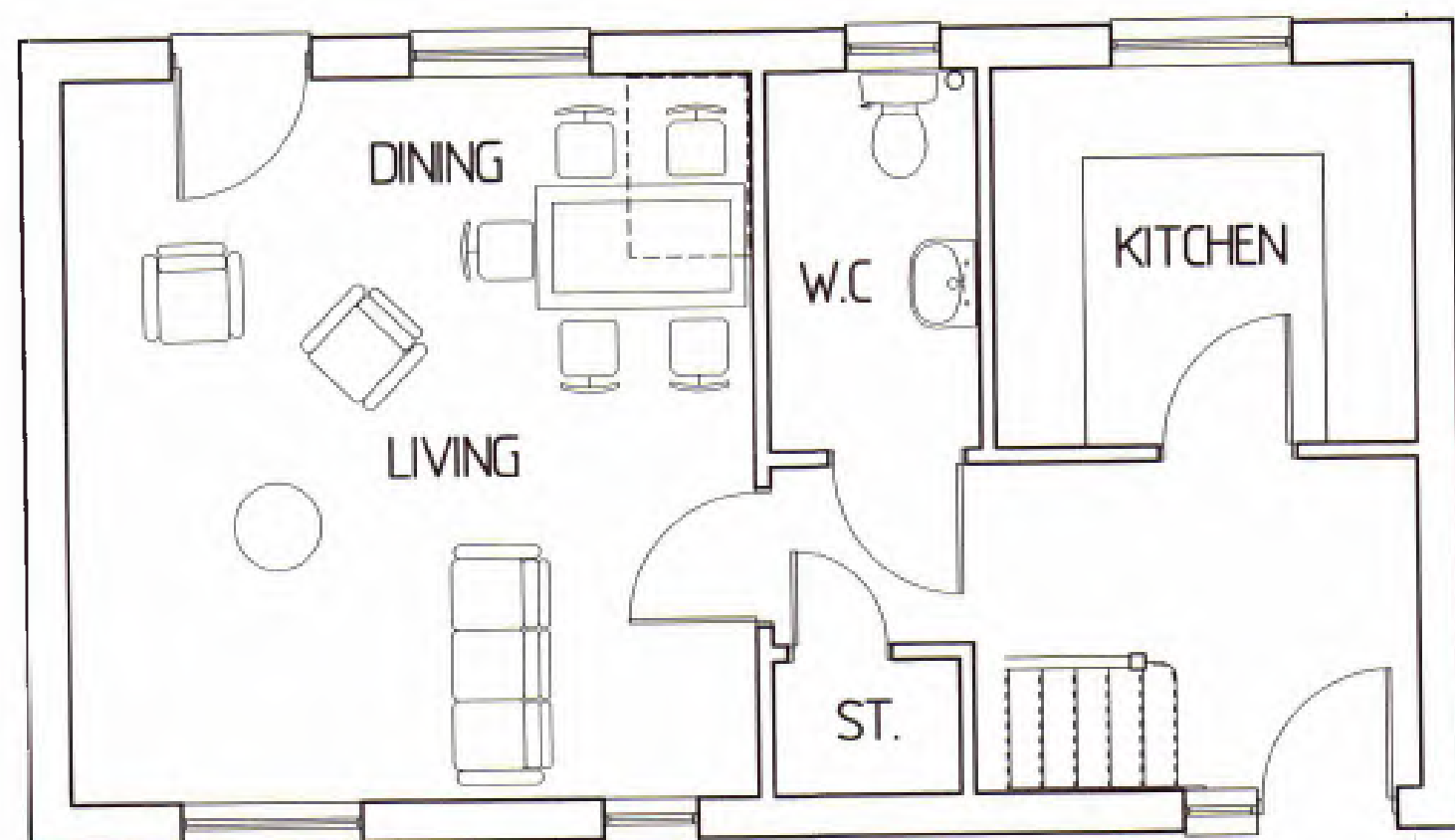
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FELLOWS BURT DALTON & ASSOCIATES LTD.

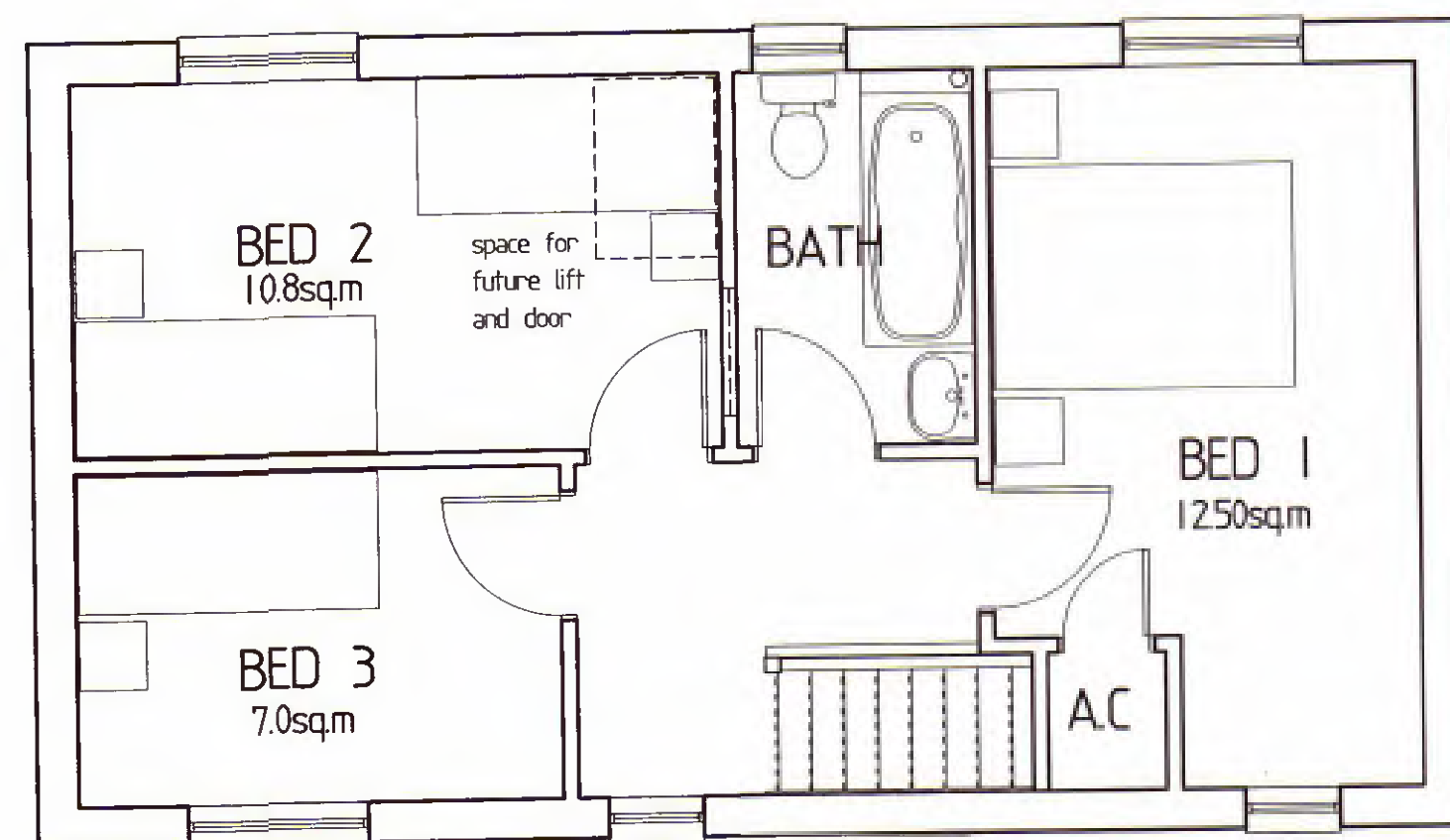
ARCHITECTURE o PLANNING o DEVELOPMENT CONSULTANCY  
THE OLD TELEPHONE EXCHANGE, GPSY LANE, BALSALL COMMON, COVENTRY,  
WARWICKSHIRE CV7 7FW. TEL 01676 53 55 30. FAX 01676 53 55 37

	REVISION	
SCALE	1:100	
	1:200	
DATE	11/03	
	DRAWING NUMBER	048 / 03
	NORTH	

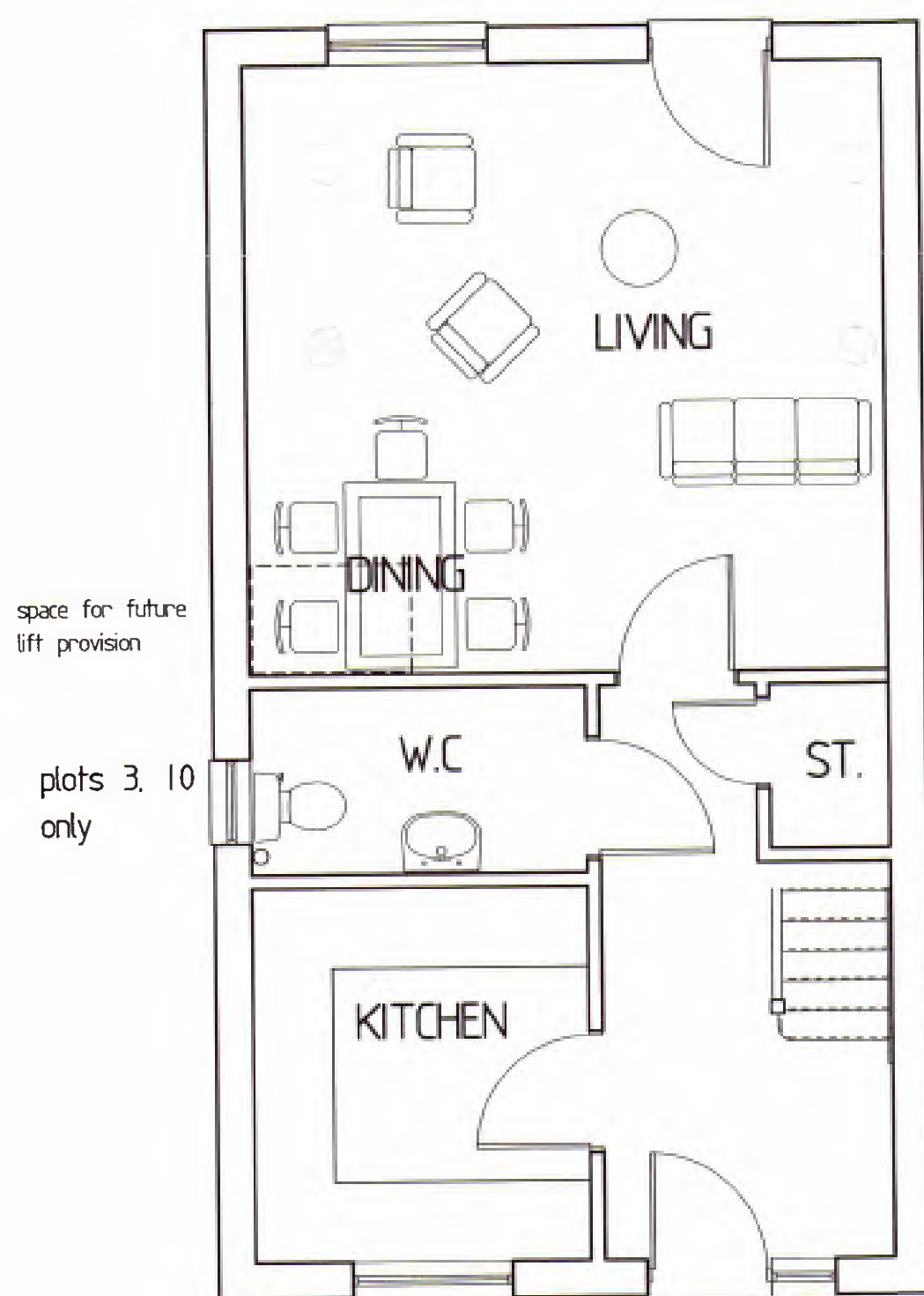




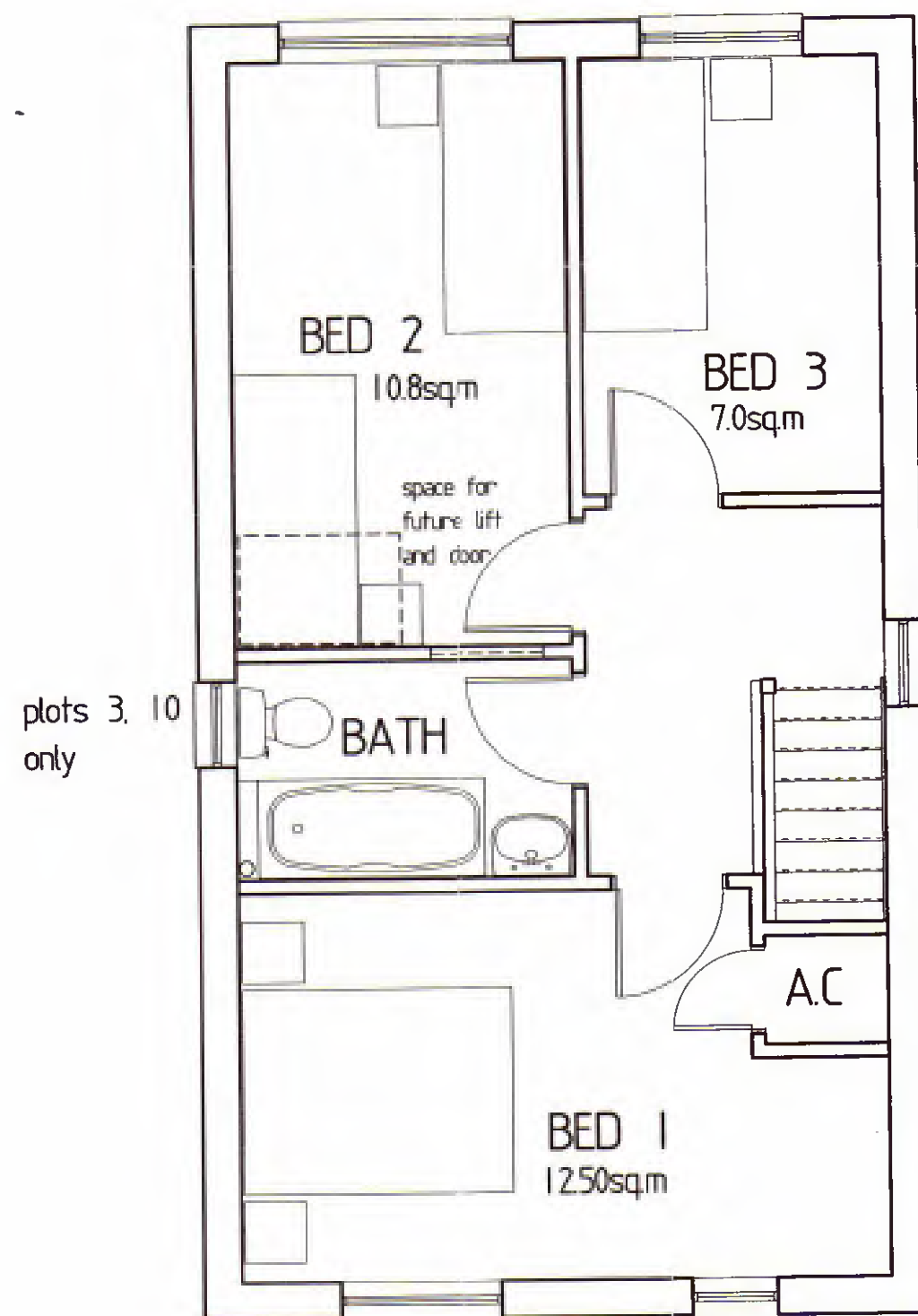
GROUND FLOOR PLAN PLOT 10



FIRST FLOOR PLAN



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