

**From:** Ross Duggleby <[ross@room-studio.co.uk](mailto:ross@room-studio.co.uk)>

**Sent:** 12 April 2024 11:42

**To:** Evans, Joshua <[Josh.Evans@herefordshire.gov.uk](mailto:Josh.Evans@herefordshire.gov.uk)>; James Richardson

**Subject:** 220528 Long Barn, Much Marcle, HR8 2NR Condition 3

Hi Josh,

Could you please discharge Condition 3 as discussed on site on the basis that all materials were either stated elsewhere or are conditioned in listed building consent and therefore not applicable.

On site we discussed removing the condition but you advised that discharging it would be cheaper and easier.

I attach an outline of the materials and our understanding of how each has been dealt with in prior permissions or under listed building consents.

I also reattach our Design and Access Statement for clarity.

Many thanks,

Ross Duggleby ARB RIBA  
Co-Founder and Architect

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Room Studio Architecture and Interior Design Ltd. is a private limited company.

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	App no:	Site Address:	
	<b>220528</b>	<b>Long Barn, Much Marcle, HR8 2NR</b>	
	<b>Condition 3</b>		
	With the exception of any site clearance and groundwork, no further development shall take place until details or samples of materials to be used externally on walls and roofs have been submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.		
	<b>Material</b>	<b>Proposed</b>	<b>Where considered dealt with</b>
	Stone	Existing retained, new to match existing	Conditioned in listed building consent
	Barn roof	Existing retained, new to match existing	Conditioned in listed building consent
	Bungalow roof	Existing retained, new to match existing	Conditioned in listed building consent
	Timber cladding	British Larch, horizontal format	Approved in original permission, in Design and Access Statement
	Brick	To match bungalow (as closely as possible)	Approved in original permission, in Design and Access Statement
	Windows	Aluminium clad timber by Velfac (or similar)	Approved in original permission, in D&A Statement. Details conditioned in LBC
	Mechanical goods (inc rainwater goods)	Yet to be determined	Conditioned in listed building consent
	Louvres to south facade	Aluminium powder coated	Approved in original permission, in Design and Access Statement

# Room.

Long Barn, Much Marcle,  
Herefordshire, HR8 2NR

Design and Access Statement

## DESIGN STATEMENT

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### Outline:

The proposals relate to an existing Grade 2 listed timber and stone barn and the adjacent red-brick bungalow which occupies a converted cowshed, also Grade 2 listed. The bungalow is currently used as a dwelling for the applicant's family, however the proposals that this application relates to includes the conversion of the main timber barn to provide additional living accommodation for the family, as well as the renovation of the bungalow to modern standards to create one unified dwelling.

### Current Condition:

The barn is in a state of severe disrepair, with a roof close to collapse and supporting timbers which are in extremely bad condition. The stone gables are more sound, albeit constructed out of highly friable stone and showing evidence of leaning to the upper portions. The current cladding to the barn is a patchwork of heavily weathered timber boards and rusting corrugated tin. In parts there are some breeze-block infills. The current condition of the barn is further elaborated on in the accompanying structural report and heritage statement, prepared by the relevant professionals, with further detail offered in the accompanying timber repair schedule.

The bungalow, though habitable, is very dated and in need of various repairs and improvements to make it more comfortable and thermally efficient. There are some other buildings on the site, including a large lean-to garage structure on the roadside of the barn, built out of breeze-block, and some ancillary stables and out-buildings mostly built of timber.

### Use:

The house will belong to and be occupied by the family who currently inhabit the bungalow as a long term family home.

### Proposals:

In essence, the proposals aim to create a safe and habitable dwelling from the barn and bungalow, as well as a small extension to the rear and a new large farm shed which collectively will inhabit the footprint of the historical agricultural buildings on this side of the courtyard.

These proposals will require significant work to be done to the barn itself, in order to make it structurally stable, weather-tight and thermally efficient to meet current regulations and to integrate this with the bungalow by way of a new opening through the existing stone gable which connects the two structures.

It is proposed that the barn will:

- retain the majority of its timber structure, either by way of repair of existing, or replacement with new where repair is not an option
- retain the stone gables with brick detailing in a repaired state
- retain the majority of the stone plinth walls to the sides of the building, repairing as required
- retain the roof finish, albeit with significant repairs to the structure, new insulation and replacement tiles to match existing where required
- be insulated between and outside the main timber frame, with the existing timberwork retained exposed on the inner face
- be re-clad with new timber cladding.

Further to this, the following are also proposed:

- all stone walls to the main barn to be subject to under-pinning to enable the lowered floor level, ensure their structural stability and allow a continuous thermal envelope (please refer to the structural engineer's report regarding under-pinning)
- the inside faces of the main gables and stone plinths will be insulated with a layer of

insulated lime plaster to greatly improve the thermal efficiency of the building

- a mezzanine structure to be inserted at the west end of the main barn
- the main floor level to be lowered to enable sufficient head heights to be achieved for the mezzanine structure. Where openings are located, floor levels will be locally lowered to enable sufficient head heights below the existing timber wall plate
- a raised portion of floor, in timber frame over the new lowered slab, to the east end of the barn to enable interaction with the new glazing proposed here
- stairs to a new opening through the gable end to connect the barn and the bungalow
- new windows will be installed throughout, some in existing openings (in the case of the north and west façades), and some in new openings (in the south facade). All will be sited between the existing timber structure, or set outside of the frame to minimise impact of these on the structure. Aluminium frames will be used throughout.

With regards to the bungalow, the following fabric is intended to be retained:

- brick envelope
- main roof and chimney
- most opening locations.

The following changes are proposed in the design:

- removal of all internal partitions and realignment of these with the main timber trusses of the roof
- removal of the suspended ceiling and opening up all rooms to roof level, with sloping soffits and, where possible, exposed beams
- opening up of all openings into the courtyard to the floor to create full height opening more akin to cowshed door openings of the original usage
- some new openings with some existing filled in
- new windows to all existing openings

- new rainwater goods and other necessary repairs
- a bat loft to the roof space alongside the eastern gable of the barn.

Elsewhere on the site the following is proposed:

- removal of the existing garage structure, and all adjacent block walls, and replacement with like for like volume in materials to match the proposals for the main barn, with the roof plane retained and the walls clad in timber
- removal of the existing block and timber extensions/out-buildings on the courtyard side of the barn
- construction of a new brick wing on the footprint of the above, with detailing to reflect the bungalow opposite
- construction of a new farm shed clad in timber on the footprint of historical structures on the site.

## Design Style:

The proposals seek to honour the current character of the timber agricultural building and complement this with materials and detailing suitable for a dwelling in a rural setting in this part of the country.

It is proposed that the road side of the barn will be furnished with a very agricultural aesthetic, with timber cladding throughout. The existing cart entrance will be treated with vertical cladding to create the impression of a large cart door, though this will not be openable, and will have slim screened glazing to each side.

The entrance to the dwelling is proposed to be housed within the replacement garage structure by way of a modest recess in the inner corner, to avoid a ‘residential-style’ porch or front door from

detracting from the agricultural appearance of the building.

The courtyard side will be more open, with larger areas of glazing set within new timber cladding and with the majority of the plinth wall retained. The main cart entrance on this facade will have full height glazing with a vertical orientation and horizontal timber louvres to the upper portion for control of solar gain.

A large new opening will be created to the east of this, with the glazing set outside of the frame due to difficulties glazing between the main frame posts and bracing elements, especially at a level low enough to enable meaningful use as windows which interact with the views to this side.

The new wing to the southwest of the barn will be build in brick, to reflect the existing bungalow structure, with a shallow mono-pitched roof of profiled steel. Two historic padstones will be retained and used to establish the form of this structure. The farm shed will be clad in cladding to match the main barn, with a roof to match the guest wing and with photovoltaic cells mounted on this section of roof.

The bungalow will retain its overall palette of brick and slate, with a more respectful approach taken to the modern addition of white PVC windows upon its conversion to a dwelling with replacement with full-height windows more akin to their original form and the use of a frame colour that contrasts less with the brick.

The landscaping style will remain very rural in appearance, with minimal landscaping to the road side of the property, and a ‘country garden’ approach to the courtyard, with the removal of the existing caravan and other incongruous structures. The surrounding land outside of these two areas is to left as arable land. A ground source pump array will be installed in the field beyond the courtyard to provide a source of sustainable heating.

## **Accommodation:**

The existing bungalow has three bedrooms, one living room, one bathroom, one kitchen a small utility, WC and hall areas. The proposals will retain the bungalow entirely for bedroom/bathroom use, with three bedrooms and two bathrooms, accompanied by a boot-room/utility room towards the front of the property.

The barn, currently unused, will house mostly living space, with an open plan living/kitchen/dining area alongside a snug. The mezzanine level will house two further bedrooms/studies and a bathroom.

The new extension is proposed to have one guest bedrooms and a bathroom. The garage will be retained for two car parking spaces, with the entrance area, WC and cloakroom taking part of this space, and storage above.

## **Access and Parking:**

Access to the dwelling is currently made off Gwynns Hill, via a very short drive to an open parking area to the front. There are no proposals to materially change this access arrangement only to pave the parking area with new permeable paving and to enclose the replacement garage structure with timber doors.

This existing garage structure will have necessary re-levelling to adjust the heights of the land to suit the lowered barn floor height, with a low retaining wall to the bank to the west. The garaging provision will offer two normal-sized parking spaces, with up to three additional parking spaces on the forecourt.

There will be space for bicycle storage in the proposed replacement garage structure.

## Waste management:

The property is not on mains sewers, with a septic tank on site. There will be no change to the existing condition with regards to recycling and refuse.

## Services and Renewables:

Heating is currently oil-fired, with a tank on site, however, the applicants have a strong desire to replace this with ground source heat pumps in order to reduce their carbon footprint. Electricity is currently mains, but again, the intention is to supplement this with a renewable source in the form of photovoltaic panels on the farm shed roof.

## Trees:

There are no protected trees on the site. There are some trees in close proximity to the southwest gable of the barn and the garage, it is the applicant's hope to keep all trees intact should they not pose issues with new foundations for the replacement garage structure or any other structure complications.

## Privacy and Overlooking:

The property is currently isolated with no privacy or overlooking concerns. There will be no detrimental affect on any neighbour amenity.

## Ecology:

A large bat loft is proposed in the existing roof of the bungalow. The size and siting of this is based on expert analysis by a suitably qualified ecologist. Details of this are elaborated on within the accompanying ecologist report.

## Materials:

The key materials being proposed for the works are:

### Barn:

- External stonework	Retained and repointed as required
- Timber cladding	Horizontal British Larch cladding (see Figure 01.)
- Roof tiles	Existing retained and new to match where required
- Glazing and doors	PPC Aluminium in Anthracite Grey (see Figure 02.)
- Sun louvres/Brise Soleil	PPC Aluminium in Anthracite Grey (see Figure 05.)

### Bungalow/cowshed:

- External brickwork	Retained and repointed as required
- Roofing	Existing retained and new to match where required
- Glazing and doors	PPC Aluminium in Anthracite Grey (see Figure 02.)

### Guest wing:

- External brickwork	Retained and repointed as required
- Roofing	Profiled PVC Plastisol coated steel sheet (see Figure 03.)
- Glazing and doors	PPC Aluminium in Anthracite Grey (see Figure 02.)

### Farm shed:

- Timber cladding	Horizontal British Larch cladding (see Figure 01.)
- Roofing	Profiled PVC Plastisol coated steel sheet (see Figure 03.)
- Solar panels	Monocrystalline Photovoltaic Cells (see Figure 04.)
- Doors	Timber in same species and finish to cladding

Please see the following sheets for more information.



**Figure 01.**

Material: British Larch

Description: Even width planks with stainless steel fixings

Format: Horizontal tongue and groove boards.

Supplier: Vastern Timber (or similar supplier)

Reference Image: From supplier showroom



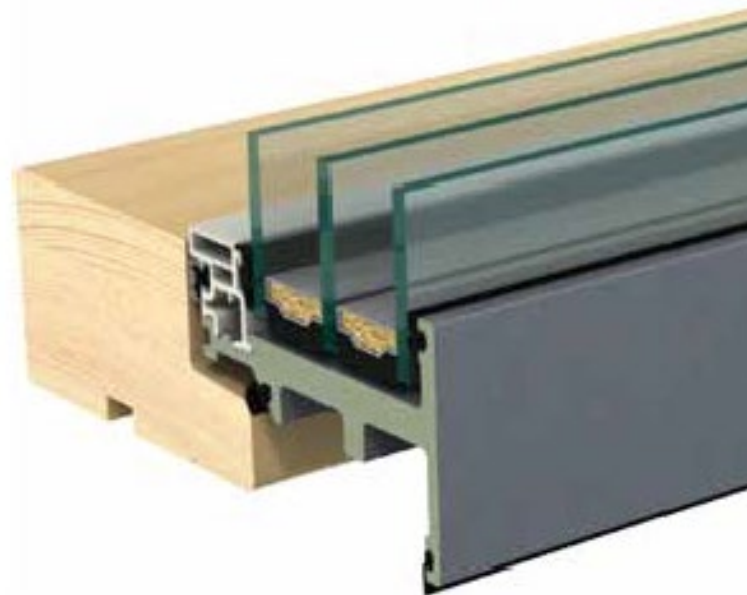
**Figure 02.**

Material: PPC Aluminium/  
PPC Aluminium & timber

Colour: Anthracite Grey

Supplier: Velfac, Nordan (or similar supplier)

Reference Image: Provided by supplier



**Figure 03.**

Material: Box Profile PVC Plastisol Coated Roof Sheet

Colour: Anthracite Grey

Supplier: Cladco (or similar supplier)

Reference Image: Provided by supplier



**Figure 04.**

Material: Monocrystalline Photovoltaic Cells

Support: Undermounted anodised aluminium frame

Supplier: Eco Source (or similar supplier)

Reference Image: Provided by supplier





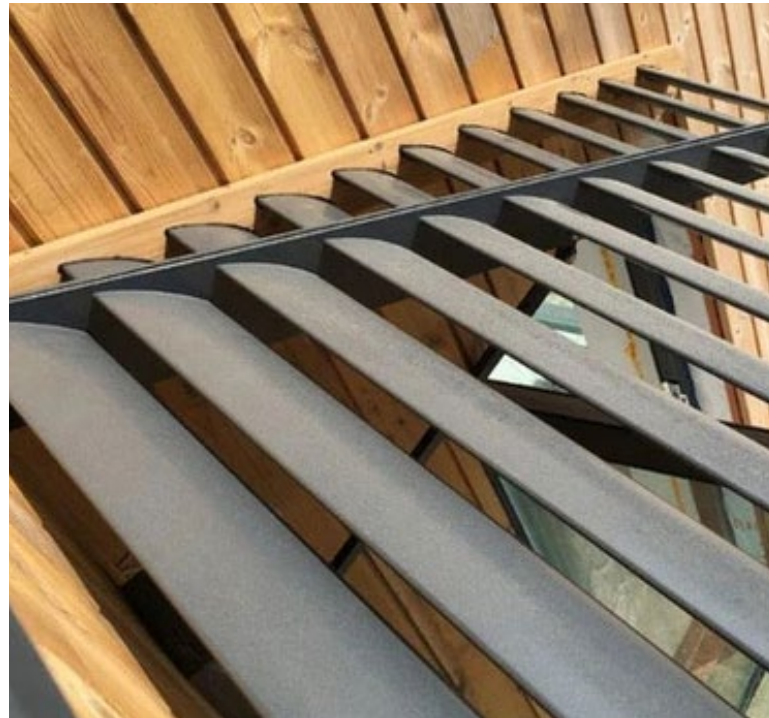
**Figure 05.**

Material: PPC Aluminium Sun Louvres

Colour: Anthracite Grey

Supplier: Brise Soleil UK  
(or similar supplier)

Reference Images: Provided by supplier



## DESIGN TEAM

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### **Architects:**

Room Studio are a residential architects based in Bath. They are an RIBA chartered practice who specialise in the design of new build houses, renovations and extensions to existing homes for end-user clients. They are designing and coordinating the project on behalf of the applicants.

### **Structural Engineers:**

C2 Designs are a chartered structural engineer based in Whitbourne, Worcestershire, with extensive experience in timber barns and structures in Herefordshire and the local area. [Please see the accompanying Structural Report for their assessment.](#)

### **Timber Frame Specialist:**

B. Mulford Historic Carpentry Ltd are experienced historic carpenters based in Newent, Gloucestershire. They have worked on many similar structures in the local area. [Please see the accompanying Timber Repair Schedule for their assessment.](#)

### **Listed Building Consultant:**

Planning Heritage of Bath have significant experience in providing consultancy for a wide range of listed buildings across the UK. [Please see the accompanying Heritage Statement for their observations.](#)

### **Ecologists:**

Collins Environmental Consultants, based in Gloucester, are experienced ecologists and have undertaken the relevant surveys to establish what species are present on the site and what mitigation methods should be employed. [Please see the accompanying Ecology Report for their observations and advice.](#)

### **Surveybase:**

Measured building surveyors based in Bath have undertaken a full measured survey of the existing building and the site. This has been used as the basis for all design work.





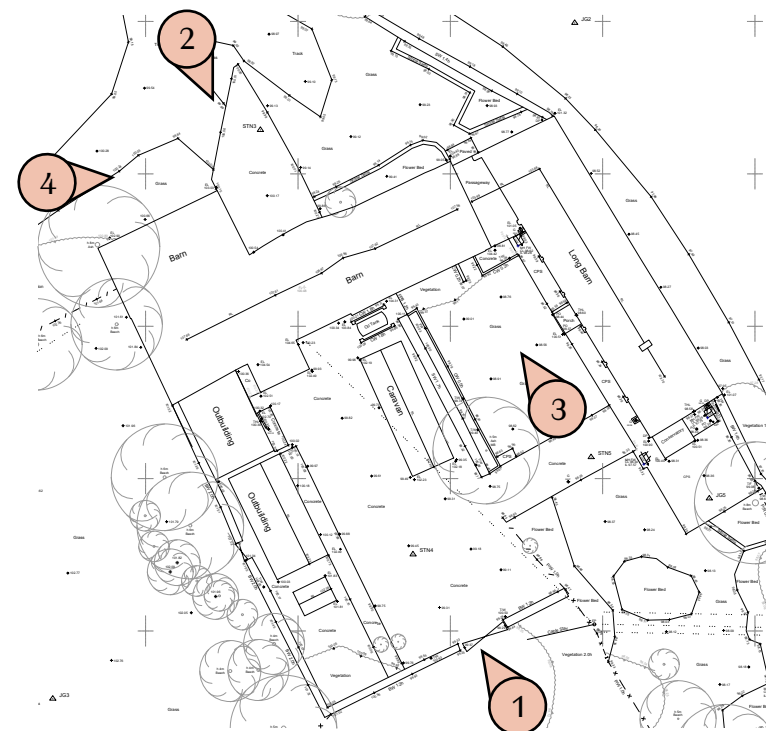
CLOCKWISE FROM TOP LEFT:

1. View of courtyard side of the main barn. The caravan, timber and breeze-block outbuildings are proposed to be removed and the courtyard re-landscaped.

2. Roadside of the barn. The main barn will be re-roofed and clad in timber, with glazed areas in the existing openings.

3. It is proposed to replace the garage structure with the same envelope but with timber cladding to house a garage and entrance area.

4. The courtyard side of the main barn. The corrugated tin is proposed to be replaced by glazing and cladding. The cowshed will be linked to the barn by a new structure.

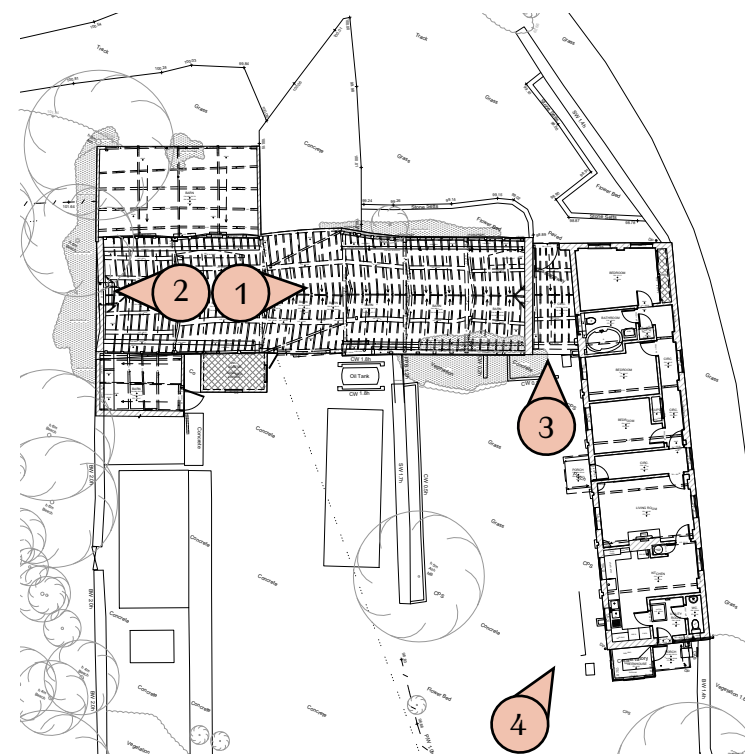




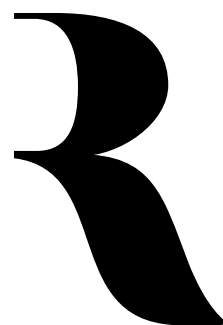


CLOCKWISE FROM TOP LEFT:

1. Internal view of barn showing dilapidated timber structure and stone gable.
2. A view of the west gable of the barn. This existing opening will be retained, although the top portion of the gable requires rebuilding due to significant leaning.
3. The adjacent 'cowshed', previously converted into a bungalow and now habitable. This is currently occupied by the applicant.
4. The passageway between the barn and the house.







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