



PLANNING STATEMENT

(incl. Design & Access)

SUBMITTED IN SUPPORT OF A FULL PLANNING APPLICATION
(RETROSPECTIVE)

FOR

The change of use and conversion of a traditional building
into a single 1 bedroomed holiday let

AT

Instone House
Tenbury Road
Bromyard
Herefordshire
HR7 4LW

ON BEHALF OF

Mr K Bayliss

Stephen Locke Associates
Barcaldine, Barrack Lane
Lilleshall, Newport
Shropshire, TF10 9ER



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1.0 Introduction

1.1 This Planning Statement has been prepared by Stephen Locke Associates on behalf of Mr Ken Bayliss and accompanies a retrospective full planning application to Herefordshire Council for the conversion of a traditional building into a single holiday let at Instone House, Tenbury Road, Bromyard, Herefordshire, HR7 4LW.

1.2 The applicant is Mr K Bayliss who is the freehold owner of the property. The building, which was converted in 2022/23, creates a well-designed building conversion which adds a high quality holiday accommodation unit and supports tourism in the area.

1.3 The statement has been prepared by Stephen Locke who has over 30 years of professional planning experience and is a rural Chartered Surveyor and Chartered Town Planner. The statement should be read in association with other supporting documentation prepared and submitted as part of the application.

1.4 Mr Bayliss has sympathetically converted and renovated the former brick and masonry agricultural building to a high quality single holiday let benefitting the local economy and enhancing the overall character of the area.

1.5 The application is supported by additional supporting evidence in the form of an ecological report, a flood risk report, a structural engineers assessment, flood risk assessment, drainage strategy, site elevations, internal floor plans, site layouts and location plan.

1.6 As originally stated, the application has brought a traditional building into a productive use as a holiday let. The building has already been converted to domestic standard and includes a kitchen, bathroom, 1 bedroom and living space. The yard and land included in the conversion amenity space are also used by the applicant in association with the existing residential dwelling at Instone House.

1.7 Pre-application advice from Herefordshire Council was sought by Mr Bayliss on 29/02/2024 and the response from the Senior Planning Officer, Maria Philpott was positive. Planning permission was previously granted for the conversion of this barn to 2no. holiday cottages in 1998, however this was not commenced and this permission has subsequently lapsed.

2.0 Site Location / Description

2.1 The site is located in open countryside less than 1 mile north of the market town of Bromyard and although outside of the settlement boundary, it forms part of a collection of farm buildings / outbuildings and the main dwelling of Instone House. The building currently forms part of the property known as Instone House and are accessed off the B4214 public highway.

2.2 Bromyard is a sustainable location, having a supermarket, GP surgery, dentist, school and access to the wider public transport network. The site can be found at grid reference SO650555 and What3Words Sweeter.monopoly.intersect. The overall site area for planning purposes is 0.021 ha, with the building formerly being used for agricultural purposes and now is used as holiday accommodation. Instone House is a residential dwelling and is the family home of Mr Bayliss. **Figure 1** shows a map of the area.

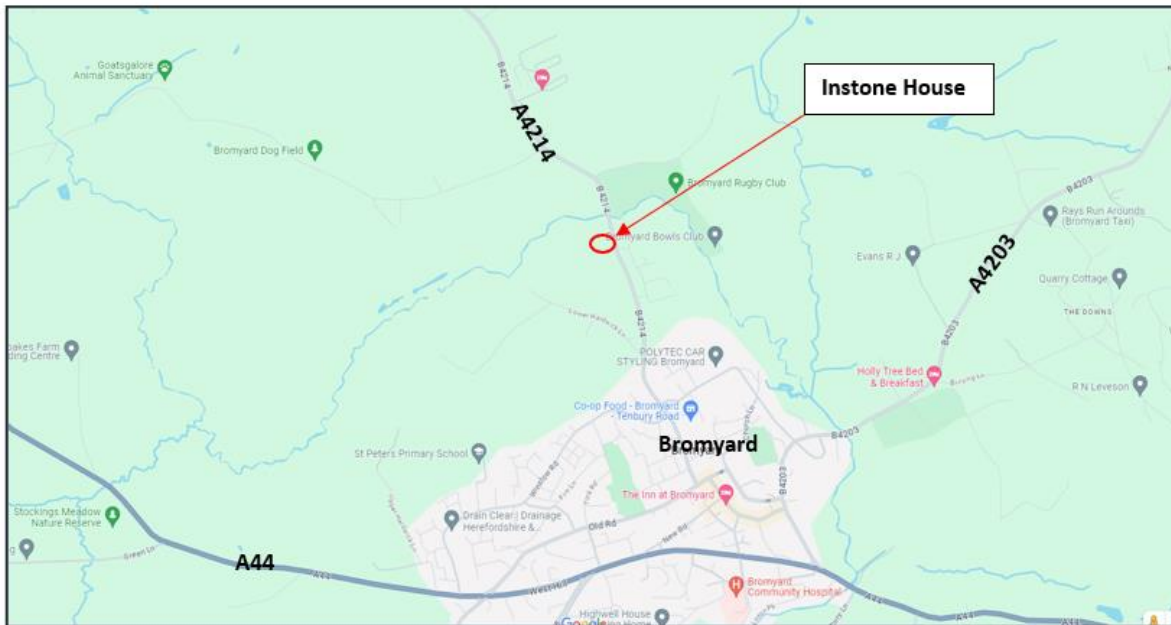


Figure 1: Map of the area

2.3 A site location plan (edged red (ref. Location/2435/01) has been submitted with the planning application and **Figure 2** below (not to scale) shows the site and its general locality. Additional outbuildings are located to the north of the site and the main property of Instone House is to the south. The plan at **Appendix 2** shows the property which is the subject of this application.



Figure 2 - Ariel view of the property

2.4 Instone House was built as a farmhouse around c 1800's and the barn which is the subject of this retrospective application formed part of the agricultural buildings associated with the holding. The main detached dwelling is constructed of traditional red brick with a slate tile roof.

2.5 A range of brick and stone outbuildings run off to the north east of the house and border the B4214. Mr Bayliss converted the traditional brick building to a residential holiday unit in 2022/23. The more modern steel framed barn to the north of the site is used for general storage.

2.6 The property is located outside of the Bromyard settlement boundary and within the River Wye Special Area of Conservation and within a SSSI impact zone. The application proposes to formalise the conversion of an underutilised traditional brick agricultural unit to a single holiday let.

2.7 The building subject to the application is located in a courtyard setting and its suitability for modern residential uses is acceptable. A productive holiday let re-use would help to ensure its long term survival, retain its appearance in the locality, and improve the overall setting of the locality. One small holiday let improves the availability of high quality holiday accommodation to the area which in turn supports the tourism offer of the wider locality.

3.0 Planning History

3.1 In terms of planning history, pre-application advice - proposed change to 1 holiday let (application no: 240725/CE) was sought in February 2024 and the response was issued in April 24.

3.2 Planning permission was granted in 1998 (N98/0838/N conversion of redundant barn to 2 holiday cottages). This permission was commenced in 2004 as the applicant installed the water supply and put in the windows which was checked by the local planning authority. This shows that an existing extant permission persists on the site and also confirmed that the buildings were considered suitable for conversion in terms of their condition and location.

4.0 Proposal

4.1 The scheme seeks permission to convert a traditional brick agricultural building with a corrugated asbestos clad roof into a 1 bedroomed holiday let. The owner wishes to create a small holiday accommodation unit barn unit measuring approximately 70m² internally floor area. The building would continue to be used as a holiday let and would continue to form part of the curtilage of Instone House. The structure has not been required for agricultural purposes for a number of years and is better suited to a tourism conversion which will maintain the integrity of the building itself and the setting.

4.2 The existing building is a 20th Century brick built structure and consisting of a single storey barn which would have been used for animal housing, milking, storage etc. but as the property is no longer a working farm/small holding, the associated buildings have been less used. Consequently, the building which is adjacent to the main dwelling was converted as a holiday let over the past 2 years.

4.3 A structural survey assessment report has been produced by AEC Consultants (July 2024) and has been included with the application. The report confirms that the barn has been constructed to comply with current building regulations and correlate to the plans submitted with this application. The report and assessment by Mr Hodgkiss, a qualified structural engineer with many years' experience, therefore, concludes that the buildings are in

structurally sound condition and that the conversion to holiday accommodation complies with current regulations.

4.4 The image on the following page shows the extent of the buildings and yards currently on the site and the range of agricultural buildings including the one subject to this application (edged red) which has been converted. The blue line shows the house and outbuildings.



Figure 3: Aerial Image of Instone House (image taken from Google Earth)

4.5 Access to the property is via the existing access to Instone House of the B4214. Within the curtilage, there is ample parking on the yard between the main house and the barn conversion. There is also space for vehicles to turn, enabling all vehicles to the property to enter and leave the property in a forward gear. Parking and access is shown on the site location plan – **Figure 4** on the following page. The unit is only 1 bedroom and only one parking space is needed.

INSTONE HOUSE, B4214 FROM TENBURY ROAD TO RIVER FROME, BROMYARD, HEREFORDS

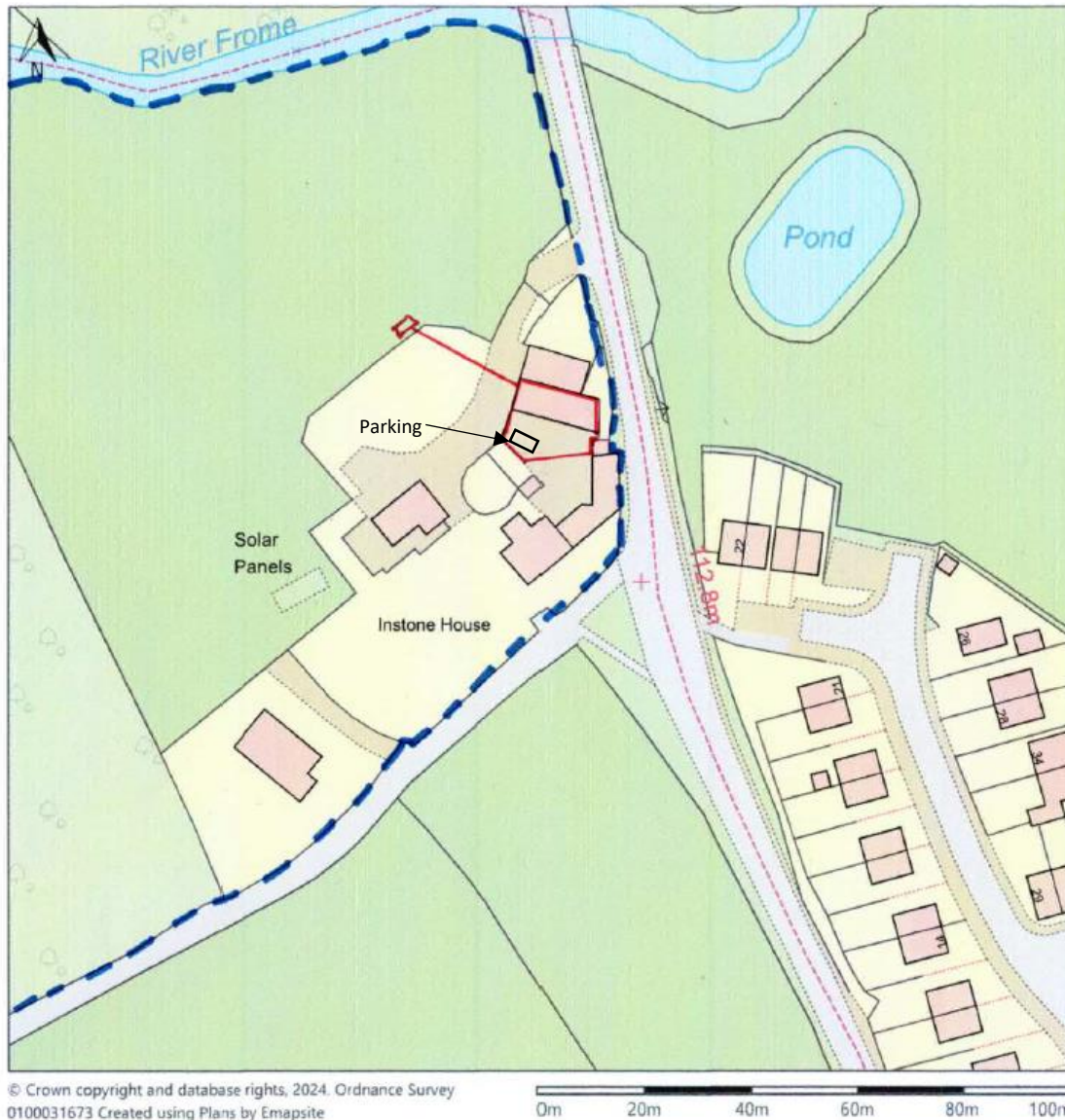


Figure 4: Site Location Plan (not to scale)

4.6 The scheme was informed by a careful design process. It also took into account the potential impacts on local wildlife. No protected species were affected during the site works and the corrugated asbestos sheet roof was unsuited to use by species such as bats.

4.7 The building has been converted with a sensitive approach, maintaining the overall visual character and covering the same floor area. Existing openings have been utilised where possible with a small number of new openings to allow the unit to be used as modern holiday let. Roofing materials were replaced as traditional tiles to enhance the design and the locality; and to match the other buildings. Additionally, solar panels have been added to improve the environmental credentials of the property.

4.8 Where necessary the building was repaired with reclaimed materials to match the existing and the roof structure was retained and repaired with the traditional roofing materials. It was not necessary to undertake any extensive brick remedial work to the main structure other than localised areas as the main brickwork is sound. Some renovation works were required – a new DPC was inserted to ensure that the barn can function as domestic accommodation. The eastern end of the building required repair and renovation which was done to match the neighbouring farm building.

4.9 The new dark anthracite window frames and doors for the converted building reflect the traditional agricultural character of the area and conservation rooflights are included in the scheme and have been positioned to the north ensure that they are not in view from any properties other than Instone House. Black UPVC guttering and downpipes help to match existing detail.

4.10 Additional landscaping is proposed to further enhance and integrate the new dwelling unit into the landscape. It is considered that the design and appearance ensure the character and essential form and fabric of the building will be retained and results in a high quality sympathetic scheme which blends well with and enhances the immediate surrounding area.

4.11 The site is relatively level and a mixture of timber sleepers, raised vegetable planters, dwarf brick walls, and a traditional sandstone wall have been included to help differentiate the holiday let from the main property. Proposed elevations, layout and general section plans are shown on the following pages in **Figure 5** (i – iii).

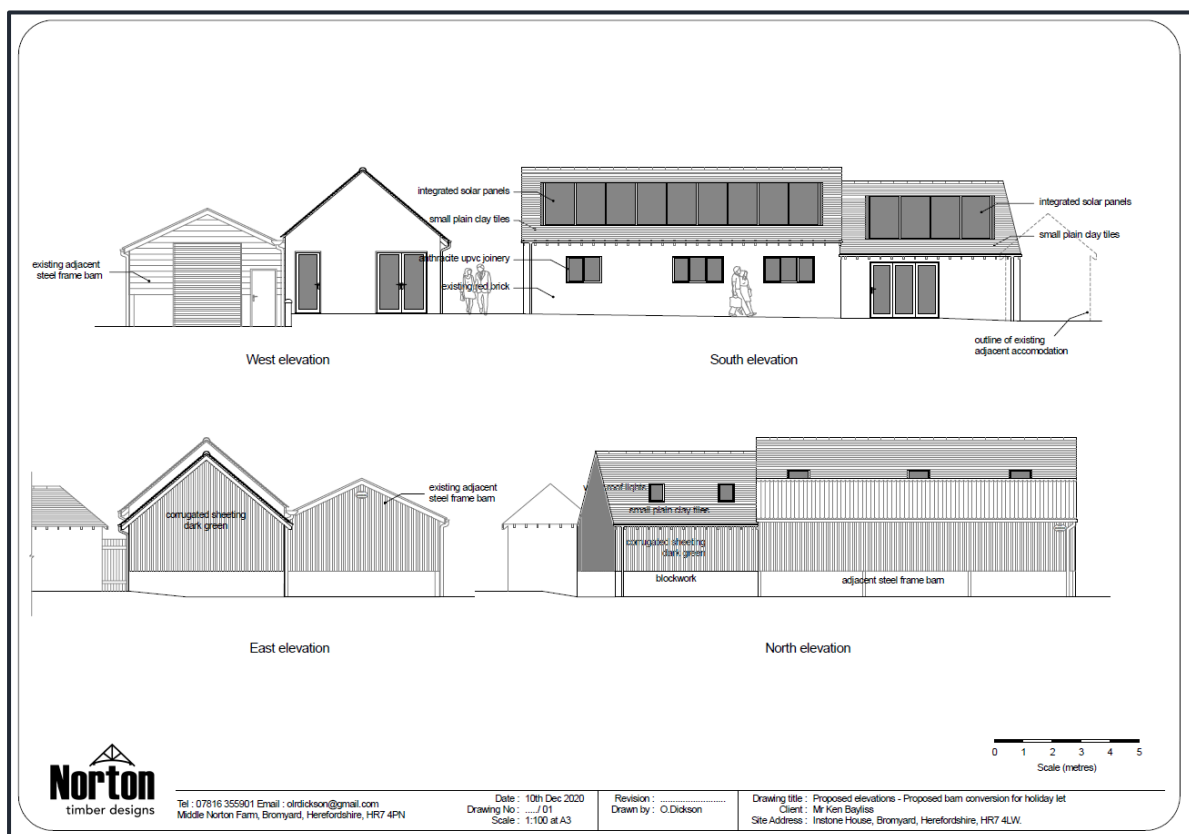


Figure 5(i) Elevations for barn conversion for holiday let (not to scale)

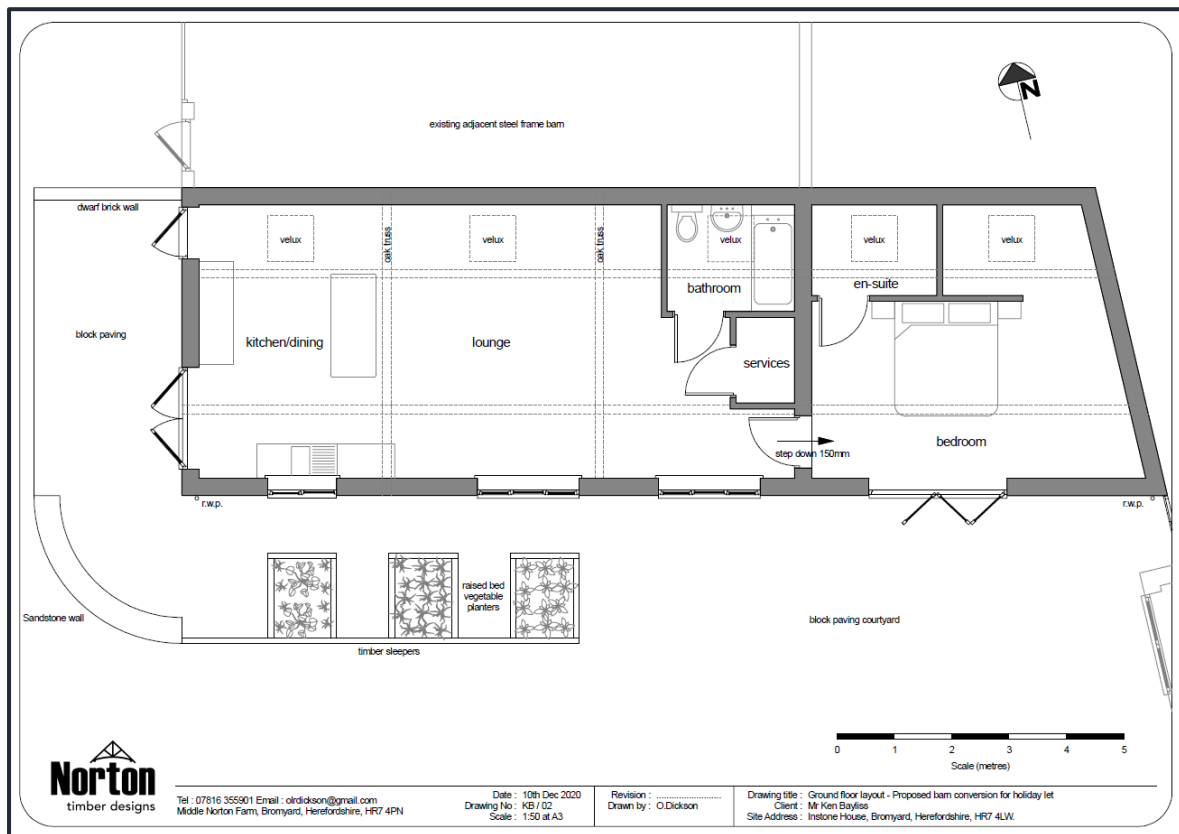


Figure 5 (ii) Ground Floor layout for barn conversion for holiday let (not to scale)

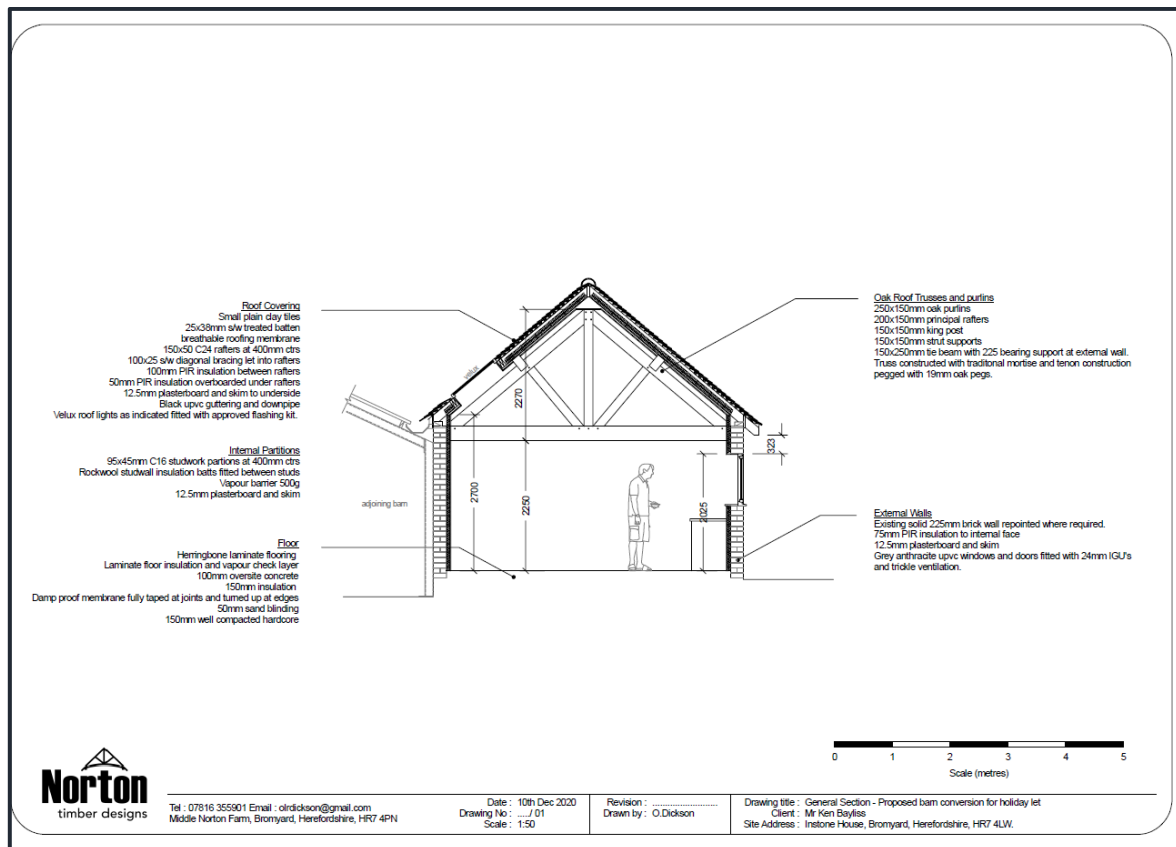


Figure 5 (iii) General section – barn conversion for holiday let (not to scale)

4.12 The existing property is accessed to the public highway and this will be maintained.

4.13 Visibility at the exit onto the public highway is good with a clear visibility of over 120m in either direction. There is ample room within the courtyard area for cars to turn and reverse as required. **Figure 6** below shows photographs of Instone House access points. As there is only one bedroom only 1 parking space is needed. All traffic to the holiday let will utilise the northern access point.

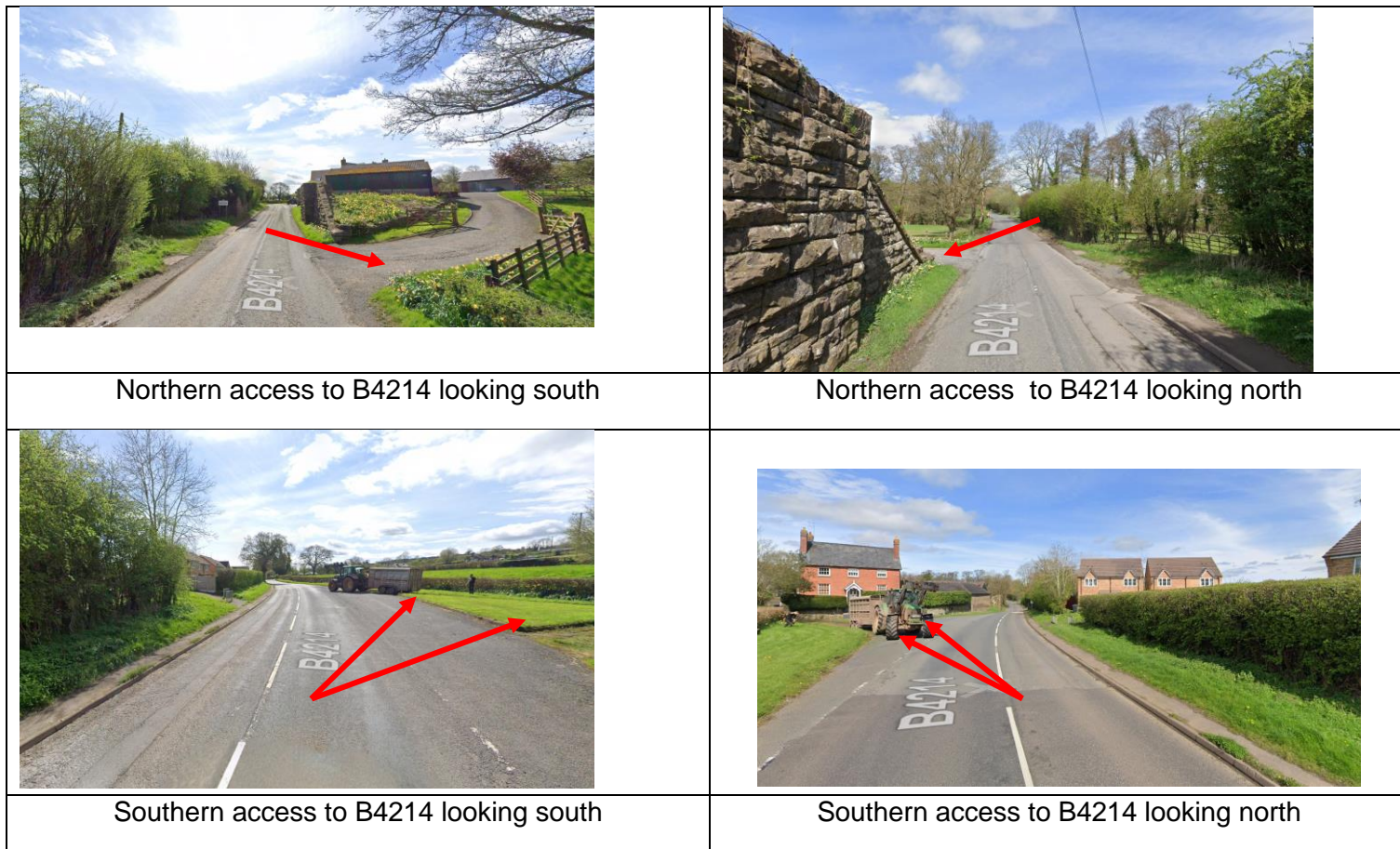


Figure 6 - Showing access points onto B4214

4.14 Regarding traffic generation and impact on the local road network, a small-scale holiday accommodation scheme is seen as being more suitable than a continued agricultural use. The users of the holiday let unit will park their vehicle to the south of the barn conversion where plenty of existing yard space exists without the need to create additional parking spaces. No issues have arisen in regard to traffic or parking since the unit was converted.

4.15 In terms of landscaping, the scheme is enhanced by additional planters and low-level walls and timber sleepers. Further landscaping can be agreed via a planning condition if required. The barn conversion is located between Instone house and a further existing steel framed barn with a courtyard between the main dwelling and holiday let and as such, the rural appearance of the yard and buildings is maintained by the sympathetic and limited use of walls and planters.

4.16 Additional landscaping includes a block paving courtyard to the south and west side of the unit. A dwarf brick wall will separate the unit from the access to the existing adjacent steel framed barn. The sandstone wall to the south west provides a solid boundary that helps to separate the barn unit from the existing dwelling.

4.17 The existing barn to the north will be maintained as part of the scheme. Bin storage is located near the house along with the bins for the main dwelling. All the parking places will be accessed from the existing yard and the access and turning areas surfaced in a porous material to allow soakaway drainage.

4.18 In terms of overall appearance, the scheme significantly improves the look of the site and use of the building which was previously an under-used structure at risk of deterioration. The new holiday accommodation scheme provides a high-quality use of the site and encourage further wider investment in the area. It is considered that the form, bulk, and general design of the buildings, being of traditional appearance, is in keeping with this rural location. It is not considered that the act of converting the building has resulted in any harm to the character of the area and its setting. It is considered that the modest changes to fenestration/doors proposed would not result in any significant impact on the overall appearance and character of the building and the removal of the storage use would provide an improvement and enhancement to the wider locality.

4.19 The buildings all drain to an existing clean water system which will be maintained. The foul drainage is managed via a sewage treatment plant which was installed 4-5 years ago and is shown on the site layout plan. The plant just upgraded the old septic system and follows the same path.

4.20 Although maintaining disabled access in traditional barn conversions can be difficult, opportunities have been taken where appropriate to ensure that appropriate access and facilities are built into the development.

4.21 The unit has been designed and converted taking into account all current building regulations and the site access is suitable for pedestrians, vehicles, refuse collection and emergency access.

4.22 Where possible environmental and renewable elements have been incorporated into the design such as PV panels.

4.23 The overall project aims to provide a sustainable tourism development that will benefit the existing area, helping to regenerate an underused agricultural building and enhance this countryside location. The scheme meets the core principles of local and national planning policy which is explained in the next section of the statement.

5.0 Planning Policy Context & Background

5.1 Planning policies are set out in the local development plan and in national planning policy guidance.

5.2 Local plan policy is contained in the Herefordshire Local Plan Core Strategy 2011-2031 (adopted October 2015).

5.3 The Bromyard Neighbourhood Development Plan (NDP) is still its draft stage.

Herefordshire Core Strategy

5.4 Policy SS1 *Presumption in favour of sustainable development* states that a positive approach that reflects the presumption in favour of sustainable development contained within national policy. The holiday let is located in a sustainable location within walking distance of the centre of Bromyard.

5.5 The site just falls outside the built development area and in policy terms is classed as in open countryside. However, the principle of conversion of a building in rural areas is generally supported by policies RA3, RA5, RA6 and E4 as the proposal contributes to the rural economy and tourism sector.

5.6 In rural locations outside of settlements, residential developments will be limited to proposals which meet certain criteria including (4) would result in the sustainable re-use of a redundant or disused building(s) where it complies with RA5 and leads to an enhancement of its immediate setting (**RA3 Herefordshire's countryside**). Policy RA5 relates to *the re-use of rural buildings* and permits the reuse of rural buildings where :

- 1. design proposals respect the character and significance of any redundant or disused building and demonstrate that it represents the most viable option for the long term conservation and enhancement of any heritage asset affected, together with its setting;*
- 2. design proposals make adequate provision for protected and priority species and associated habitats;*
- 3. the proposal is compatible with neighbouring uses, including any continued agricultural operations and does not cause undue environmental impacts and;*
- 4. the buildings are of permanent and substantial construction capable of conversion without major or complete reconstruction; and*
- 5. the building is capable of accommodating the proposed new use without the need for substantial alteration or extension, ancillary buildings, areas of hard standing or development which individually or taken together would adversely affect the character or appearance of the building or have a detrimental impact on its surroundings and landscape setting.*

5.7 The holiday let conversion meets all the above requirements as the design respects the character and significance of the former agricultural building within its rural setting while not compromising the amenity of the surrounding area. The building was of solid construction and conversion to residential use was possible due to its location, size and structure. Visually, the overall appearance of the locality comprising farmhouse with brick barns has not been negatively affected. The scheme re-uses a redundant agricultural building, ensuring its survival and having a beneficial economic boost to the area.

5.8 Policy RA6 supports a range of economic activities including the promotion of sustainable tourism proposals of an appropriate scale; and its use as a holiday let will also support the local economy.

5.9 The scheme comprises of a one bedroom holiday let contained within an existing redundant converted building and as such is in context with its setting and location on the periphery of Bromyard. Only minimal traffic has been generated by the scheme and in using an existing structure, the surrounding area was not negatively impacted by the scheme.

5.10 The strategy for tourism in Herefordshire is explained in policy E4 *Tourism* and supports the tourist industry by supporting a number of measures including encouraging new accommodation throughout the county.

5.11 The scheme delivers high quality year round holiday accommodation. The rural setting is particularly appealing to cyclists and walkers.

5.12 In relation to *Policy LD1 Land and townscape*, the scheme has preserved the rural nature of the Instone House by maintaining the character of the barn conversion by using and re-using traditional and matching materials wherever possible. Due to its location within the traditional farmyard setting, minimal landscaping measures have been included to enhance and separate the unit from the main property to ensure the privacy of both the guests and the inhabitants of Instone House, while maintaining the appearance of the site as that of a rural farmstead.

5.13 Sustainable design and energy efficiency is covered in policy SD1. The traditional details and character of the barn were maintained during the conversion and the location of the barn within the farmstead makes it an ideal choice for holiday accommodation without compromising the amenity of the main dwelling which is no longer a working farm. In addition, PV panels have been carefully fitted to the roof which boosts the sustainability credentials.

5.14 In relation to *sustainable water management and water resources* (Policy SD3), it is acknowledged that the unit is located right on the border of Flood Zone 2. There is no additional roof area or hard surfaces and therefore no increase in rainwater runoff. Surface water is accommodated with existing drains. A Flood Risk Assessment report has been provided to show the minimal impact on local flood areas.

5.15 A new sewage treatment plant was installed in the last couple of years to service the holiday unit and the main dwelling. The plant is located approximately 22m north west of the converted building and the site is shown on the submitted block plan. The system meets the policy guidance in Policy SD4. The package treatment plant discharges to a soakaway. The system has been tested and achieved a parameter of only 5/6 mg/l of phosphates. See **Appendix 6**.

5.16 **National Planning Policy Framework (NPPF)** – this document was revised in December 2023. We have reviewed the key sections of the framework and highlight the main guidance in relation to the Instone house site below.

5.17 The Framework highlights that the purpose of the planning system is to contribute to the achievement of sustainable development. At the heart of the Framework is a presumption in favour of sustainable development.

5.18 The site is a brownfield site and has helped to create a single one bed holiday accommodation unit. Paragraph 84 of the NPPF encourages the re-use of redundant or disused buildings. The building at Instone House was underused by the owner and has provided an ideal opportunity for an alternative conversion scheme. Conversion to a holiday let represents the optimal viable use of the building, enabling the scheme to secure the future of the traditional building.

5.19 Paragraph 69 states that small and medium sized sites can make an important contribution to meeting the housing requirement of an area and are often built out relatively quickly. The site at Instone House is a small to medium site and has been delivered quickly by a local builder/developer, improving the local area both visually and economically.

5.20 The key policy guidance for this application is contained in Sections 11, 12 and 13 of the NPPF. Section 11 promotes and supports the development of under-utilised land and buildings, especially if this would help to meet identified needs for housing where land supply is constrained and available sites could be used more effectively. There is a good argument to say that the traditional building at Instone house are not ideal for commercial use and would be better suited to holiday accommodation. The types of commercial business who may wish to use the site would be better located in allocated industrial areas closer to key transport routes.

5.21 Section 12 paragraph 126 states that *"The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities"*. The scheme is a high-quality design and helps to enhance the local area. The proposal meets the list of criteria set out in paragraph 135 of the NPPF.

5.22 Paragraph 180 of the revised NPPF states that planning policies and decisions should contribute to and enhance the natural and local environment. The proposed scheme helps to re-use and re-purpose a redundant building. The scheme delivers a high quality holiday let in an existing building.

5.23 The building meets National Planning Policy Framework (NPPF) aims that seek to promote economic, social and environmental development which contributes to building a vibrant and healthy community. There are three dimensions to sustainable development that give rise to the need for planning system to perform a number of roles:

- **an economic role** – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure.

- **a social role** – supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high-quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being; and

- **an environmental role** – contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution.

The scheme helps to meet all the above roles and helps to strengthen the rural economy.

5.24 Following NPPF guidelines, pursuing sustainable development involves seeking positive improvement in the quality of the built, natural and historic environment. This will be achieved as part of the overall proposed conversion scheme at Instone House.

5.25 To apply core planning principles to the proposed scheme we consider that the conversion provides :

- A high-quality conversion and a good standard of amenity for all existing and future occupants
- Effectively re-uses a building that was redundant and / or substandard for modern farming/commercial purposes
- The scheme represents sustainable development, suitably located within the curtilage of Instone House and a short walk away from the centre of Bromyard which has a range of services.
- The proposed development represents an opportunity to make a positive contribution to the local supply of tourist accommodation.
- Additional jobs are supported by the tourism scheme which benefits of the local economy.
- The scheme will help to support a prosperous rural economy; helping to aid the development and diversification of the area.
- The scheme helps to improve the setting and character of Instone House.

We believe that the proposal satisfies each of the above roles and provides a positive development for the area.

5.26 The conversion provides an extra tourism unit in the local area. The site has been used for agricultural purposes and the scheme helps to bring an underused building back into a productive use and enhance the wider locality for all.

5.27 In summary, the proposal represents sustainable development that is a high quality design that is entirely appropriate for its setting and delivers a new tourism unit in an accessible rural location, in a manner that does not prejudice the residential amenities of existing properties, or that of its future occupants. In the circumstances, the proposals accord with both National Planning Policy and also the relevant policies of the Local Development Plan.

6.0 Other Considerations

6.1 Landscape and Visual

6.1.1 The visual aspects of the overall property has been enhanced by the scheme. The modest and under-used agricultural building although being structurally sound was suffering from steady deterioration and required ongoing maintenance and improvements. The conversion and enhancement work demonstrated under the submitted scheme improves the visual appearance of the site and will maintain the overall integrity of the building and the agricultural and functional appearance of the setting for the future (see **Appendix 3**).

6.1.2 The scheme includes sympathetic landscaping which enhances the agricultural / rural feel of the setting.

6.1.3 The materials chosen for the tourism unit conversion scheme also associate with the rural area and will allow the building to remain as a local feature and help it to sit in the landscape.

6.1.4 No trees are directly affected by the proposal and there is no loss of habitat or landscape as a consequence of the scheme.

6.1.5 Overall the scheme positively contributes towards the enhancement and maintenance of the local landscape.

6.2 Highway Access

6.2.1 Access to the property is currently via two existing accesses onto the adjacent public road. The northern access is the principal access for vehicular traffic. The scheme proposed is only small scale and will not generate large volumes of traffic. Even when the new dwelling unit is occupied there is only likely to be one additional car on-site which is negligible. The capacity of the local roads will easily cope with this volume of traffic. If all the buildings were occupied on a commercial basis there would be significantly more movements.

6.2.2 The current access points have good visibility, providing local highway safety and access to onsite parking in a way which provides suitable turning and egress from the site.

6.2.3 In terms of access on foot, Government guidance is that 2 km is considered to be an acceptable distance for pedestrians to walk to work or to nearby facilities and amenities. The edge of the village Bromyard is a short walk away to the south where there are a number of local amenities including a school, shops, churches, public houses, bus service and sports facilities, etc. Alternatively, the county town of Hereford is 14 miles to the south west offers a comprehensive range of variety of cultural and tourist attractions, town centre shopping, eateries, banks, professional and commercial service business parks, doctors, primary, secondary and sixth form education centres, sports centres, religious centres – thus making the location of this application sustainable within the wider locality.

6.2.4 To this end, it is considered that the small-scale development proposed would not have an adverse impact in terms of local highways and access. Indeed, we believe it would have positive improvements. The pre-application consultation with Herefordshire Council stated that the access is likely to be considered suitable for a single holiday let.

6.3 Ecology

6.3.1 The site is not within any designated sites but is within an SSSI Impact Zone. The land around the site is existing buildings and old farm yard of low diversity and the site has been assessed. An ecological survey and appraisal of the site has been carried out by Martyn Owen of Biome Consulting who is an expert ecologist.

6.3.2 A site survey was completed on 23 July 2024 by Martyn Owen in line with appropriate survey guidance. During the visit the building was inspected, its setting in the wide landscape considered and photographs of the site prior to works taking place inspected.

6.3.3 The project only affected a single building and no wider habitat and the ecologist has confirmed that it is considered unlikely (based on professional experience of many similar buildings) that bats would have used the building for roosting purposes.

6.3.4 The report recommends that a Beaumaris Woodstone Bat Box (or similar) is installed on the eastern gable of the building.

6.3.5 The project is exempt from Biodiversity Net Gain as it affects less than 25m² of onsite habitat.

6.4 Trees

6.4.1 There are no significant trees on the site of the building. The garden to Instone House is located to the south of the site but this will be unaffected.

6.4.2 No significant trees will be physically affected by the holiday let conversion.

6.4.3 A landscaping scheme can be agreed as part of any landscaping condition but given the limited site area and the fact that the applicant has implemented some landscaping already it is questioned if additional landscaping is necessary.

6.5 Drainage Strategy

6.5.1 A drainage system has been considered for the development describing how surface water runoff and wastewater will be dealt with on site. Surface water will be managed in accordance with sustainable drainage principles that are in keeping with the local environment. Rainfall will be allowed to drain naturally from dwelling unit and will be directed to existing drains via black rainwater pipes.

6.5.2 The building drains into a new on-site sewage system which was installed a couple of years ago. Percolation tests were carried out on site to determine the size of soakaways required. The local soils are free draining.

6.5.3 The septic system is a package treatment plant which has upgraded the old system and serves the house and holiday let. The new plant has been tested by Clenviro Ltd and passed the appropriate tests. The plant is located approximately 22m north west of the converted building and the site is shown on the submitted block plan. The system has been tested and achieved a parameter of only 5/6 mg/l of phosphates. See **Appendix 6**.

6.6 Flood Risk

6.6.1 It is considered that the proposed development would not be at an unacceptable risk of flooding. Existing drains take the surface water from the existing roof and the area around the building is permeable.

6.6.2 The site falls on the edge of Flood Zone 2 with a medium risk of flooding. The plan and report shown at **Appendix 4** shows that the site is located on the perimeter of flood zone 1 and flood zone 2.

6.6.3 In line with current guidance we have supplied a Flood Risk Assessment which shows that the site is at a low risk of flooding.

6.7 Lighting

6.7.1 It is fully appreciated that the site is in a rural area. As such the impact of new lights needs careful consideration. Low impact lighting will be installed. This involves low wattage downlighters at the entrance doors to the new unit so that occupants can locate the doors when arriving at night time.

6.7.2 The lighting scheme will be designed to meet Bat Conservation Trust guidelines.

6.8 Other environmental considerations

6.8.1 The applicant has stated that there are no sources of pollution on the site.

6.8.2 The proposed conversion has been built to meet current energy and thermal efficiency standards required by Building Regulations. Where possible materials required for the construction were sourced from local, sustainable and renewable sources.

6.8.3 The design incorporates PV panels and other environmentally friendly materials and technology.

7.0 Conclusions

7.1 The scheme at Instone House is in an accessible and sustainable location and will provide additional tourism accommodation for the area and utilise a previously developed site.

7.2 Whilst new development in Herefordshire is generally directed towards the settlement hierarchy, this scheme does not involve any new build residential development and the appropriate re-use of redundant old rural buildings is supported through the Herefordshire Local Plan Core Strategy 2011-2031.

7.3 Although the building does not fall exactly within the settlement boundary it is acknowledged that rural buildings which are suitable for conversion generally form part of existing farm complexes which are often outside urban areas. In this instance, the site is only a short distance north of Bromyard and the scheme will enhance and consolidate the wider setting and economics of the surrounding area.

7.4 The scale and layout of the conversion results in a development that relates well to its surroundings and has no significant or detrimental impact upon the visual amenity, privacy or outlook of any nearby properties. The modest size of the unit fits the character of the site.

7.5 The conversion also offers a good quality of living / holiday accommodation, set within a discrete area of the curtilage of Instone House, with ample parking provision.

7.6 The existing dwelling of Instone House is the nearest domestic property. There is no loss of privacy and the house driveway and yards separate the buildings. Other homes are located a distance away and are not affected by the scheme and are set away from the subject buildings.

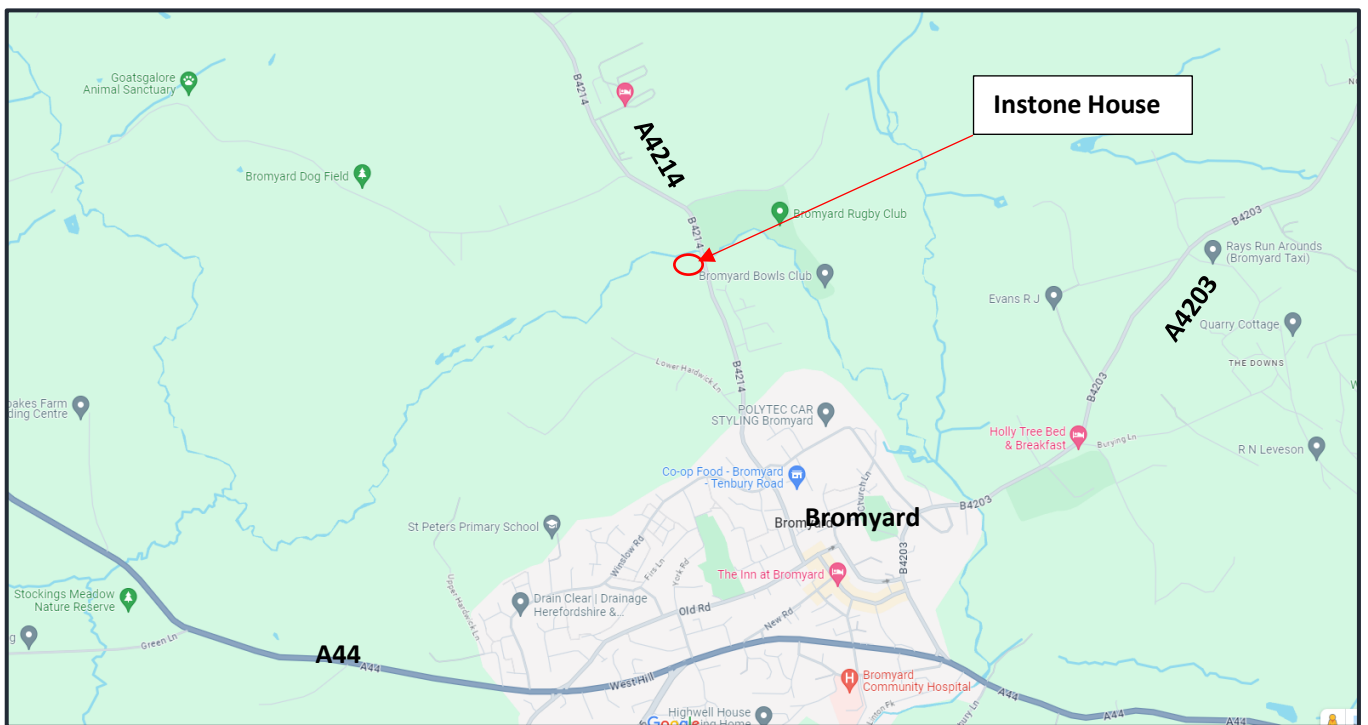
7.7 The scheme is designed to be in keeping with the redundant traditional range which is of substantial construction. We consider that the scale, design and appearance of the development is appropriate and acceptable and will enhance the appearance of the site. It is considered that the alterations preserve and enhance the character and appearance of the building and the proposal would have no adverse visual impact on the character and appearance of the locality; indeed it has been positively enriched.

7.8 The applicant has created an energy-efficient, quality holiday accommodation development within a landscaped setting, fully in keeping with the existing character of the locality. The scheme has helped to regenerate a previously developed site in accordance with the core principles of the National Planning Policy Framework and the local plan.

7.9 In the circumstances, it is suggested that this full planning application (retrospective) for 1 barn conversion unit for use as 1-bed holiday accommodation with associated parking, access and drainage is entirely acceptable in principle and there are no other planning reasons for denying consent. It is respectfully suggested therefore that the scheme should be approved, subject to appropriate conditions.

Appendix 1

Area Plan



Appendix 2

Site Location Plan

INSTONE HOUSE, B4214 FROM TENBURY ROAD TO RIVER FROME, BROMYARD, HEREFORDS



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0100031673 Created using Plans by Emapsite

0m 20m 40m 60m 80m 100m

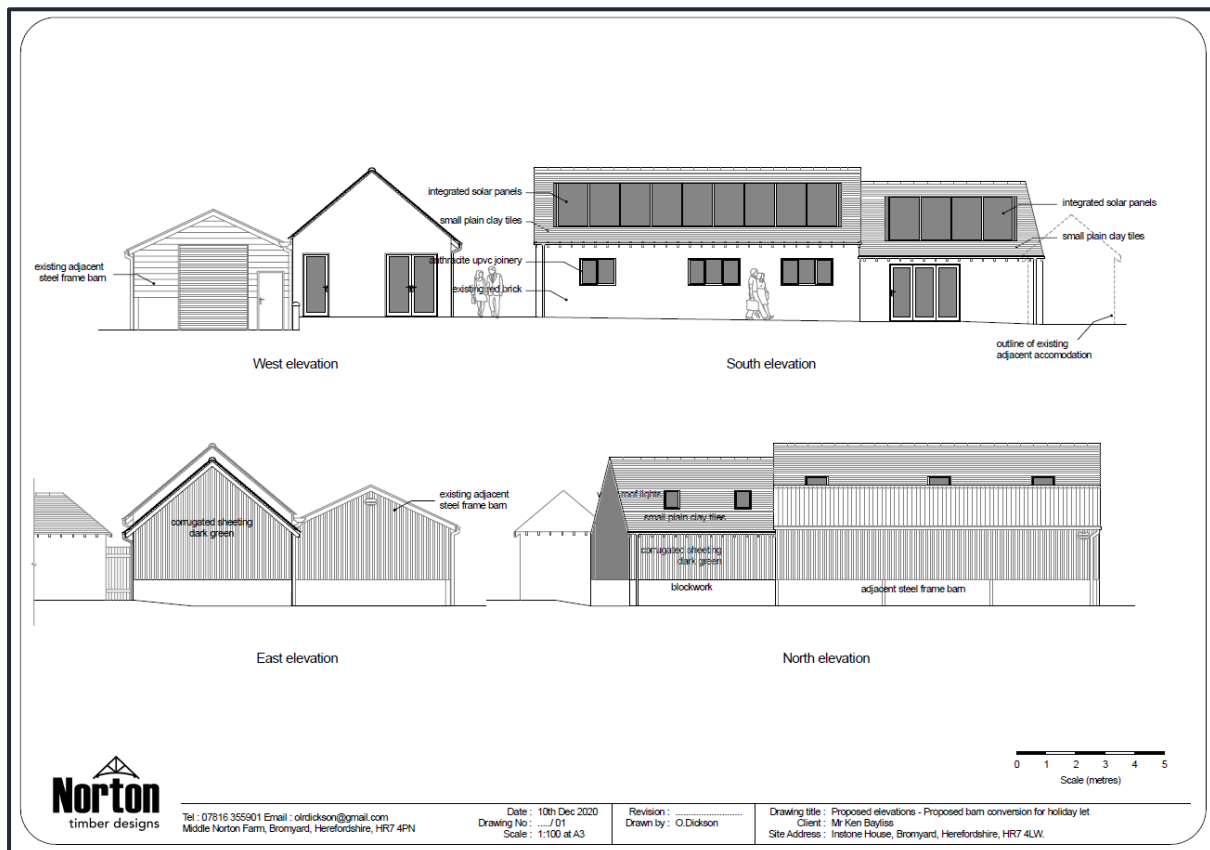
Scale: 1:1250

Paper Size: A4

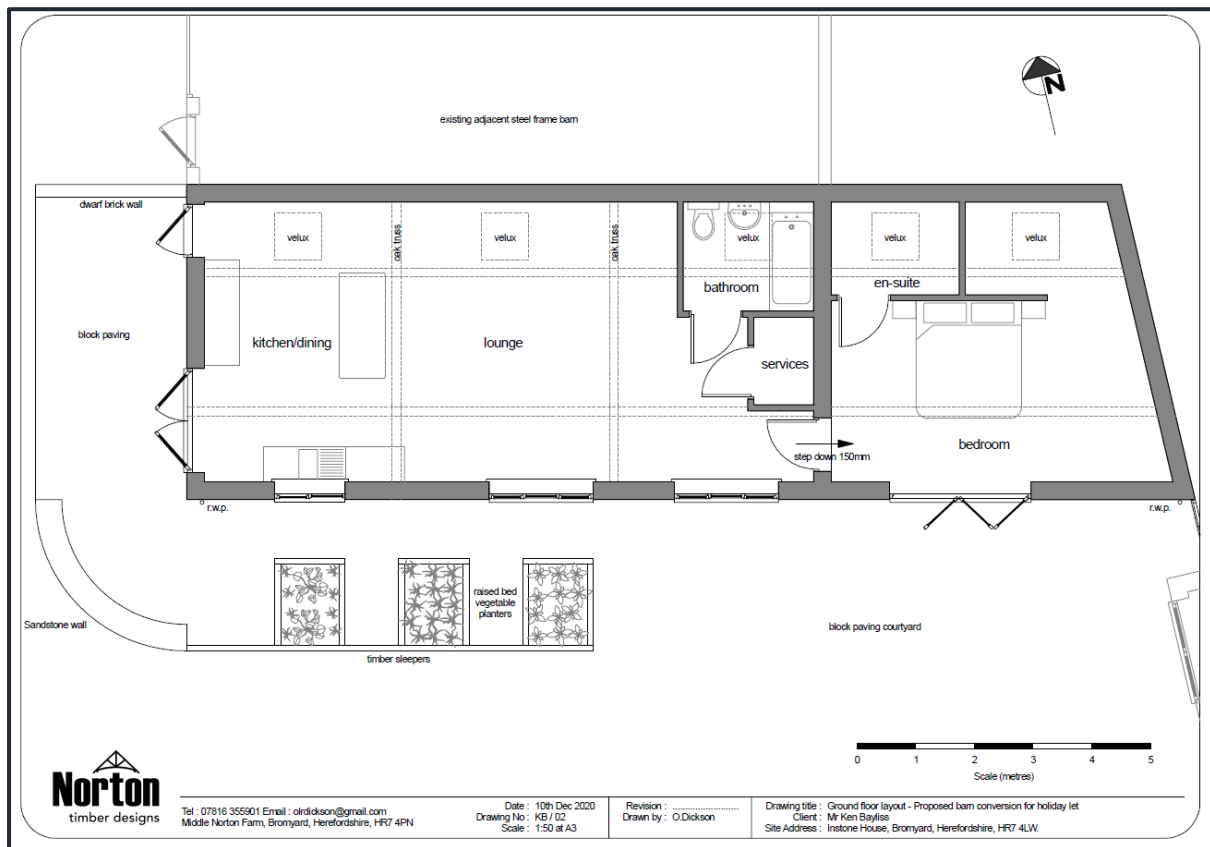
Not to scale

Appendix 3

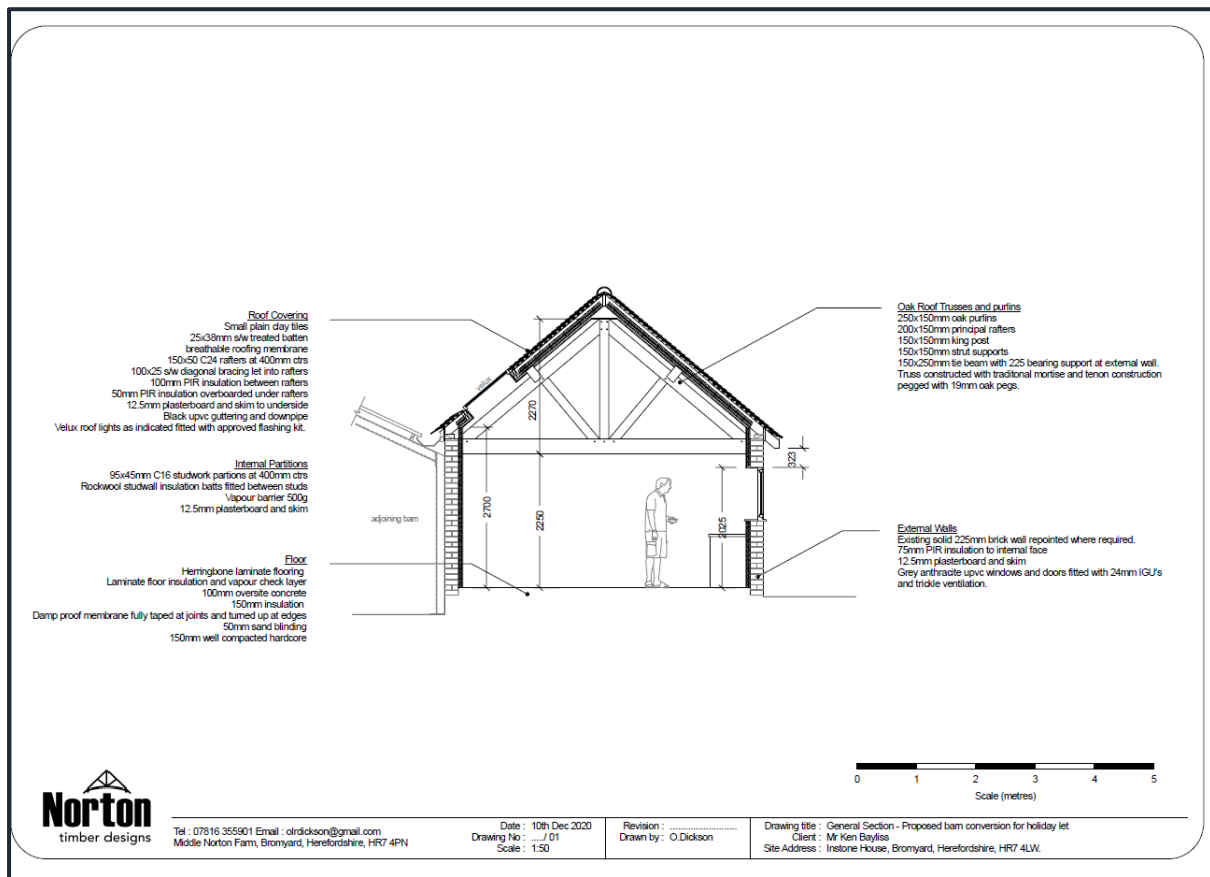
Plans and Elevations



Appendix 3 (i) Elevations (NTS)



Appendix 3 (ii) Ground floor layout (NTS)



Appendix 3 (iii) General section

Appendix 4

Photographs of the site



1. Building prior to conversion and renovation



2. Side elevation of building following conversion



3. End elevation and vehicular access drive



4. Site of package treatment plant

Appendix 5

Flood Risk Report



Flood map for planning

Your reference
<Unspecified>

Location (easting/northing)
365034/255557

Created
16 Jul 2024 15:25

Your selected location is in flood zone 2, an area with a medium probability of flooding.

This means:

- you must complete a flood risk assessment for development in this area
- you should follow the Environment Agency's standing advice for carrying out a flood risk assessment (see www.gov.uk/guidance/flood-risk-assessment-standing-advice)

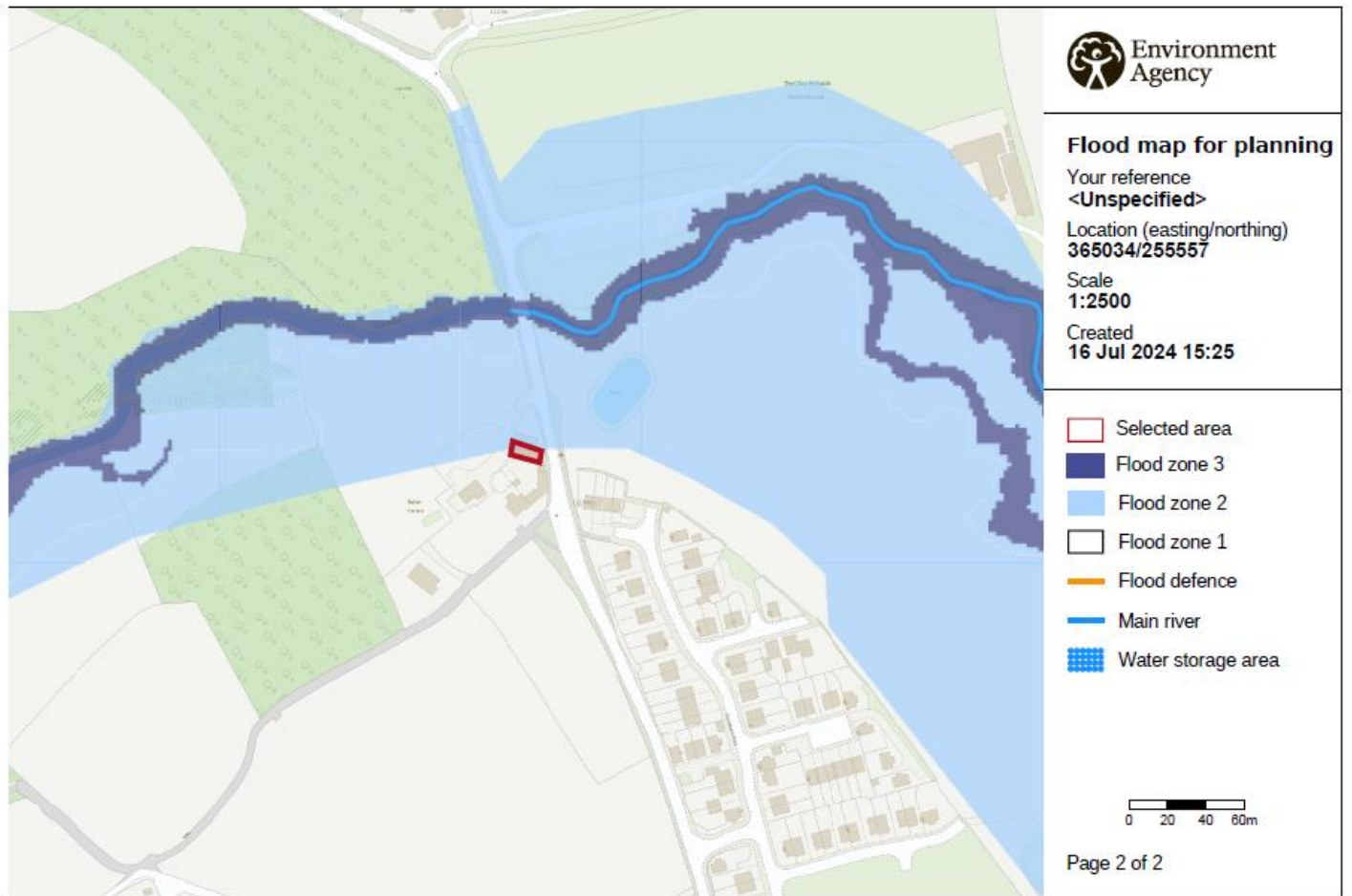
Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2022 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>



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Appendix 6

Package Treatment Plant Test Results



PERFORMANCE RESULTS

Clenviro Ltd

Unit 1C, Queensway Business Park, Telford, Shropshire, TF1 7UL
England

EN 12566-3, Annex B

Results corresponding to the Irish National Annex for IS EN 12566-3

Small wastewater treatment system MATRIX CLF

Submerged fixed film process

Test report PIA2008-09.3B49

Nominal organic daily load*	0.34 kg/d		
Nominal hydraulic daily load	1.20 m³/d		
Material	polypropylene		
Watertightness (Annex A)	pass		
Structural behaviour (pit test)	pass (also wet conditions)		
Durability	pass		
Treatment efficiency (nominal sequences)		Efficiency	Effluent
	COD	91.4 %	56 mg/l
	BOD ₅	96.2 %	11 mg/l
	SS	95.5 %	16 mg/l
	NH ₄ -N**	83.3 %	5.9 mg/l
Electrical consumption	1.4 kWh/d		
*at a test influent of ≥ 300 mg/l BOD ₅ (mean)			
**determined for temperatures $\geq 12^{\circ}\text{C}$ in the bioreactor			

Performance tested by:

PIA – Prüfinstitut für Abwassertechnik GmbH
(PIA GmbH)
Hergenrather Weg 30
52074 Aachen, Germany

This document replaces neither the declaration
of performance nor the CE marking.



Notified body
No.: 1739



Certified according to
ISO 9001:2008



Prüfinstitut für Abwassertechnik GmbH
geprüft - tested - teste

Elmar Lancé

January 2016

From: Adam Johnson adam@clenviro.co.uk
Subject: Matrix Sewage Treatment Systems
- Phosphates
Date: 16 Jan 2024 at 09:59:21
To: Ken @ Wye Cylinder Engineering Ltd
kbayliss@wye-cylinder.co.uk

Hi,

Thank you for our call earlier this morning.
As discussed, during our certification testing, the Matrix system achieved a parameter of approx. 5/6mg/l of phosphates.

Best regards,
Adam Johnson | Sales Office Manager



01952 676666
adam@clenviro.co.uk
www.clenviro.co.uk

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