

# DELEGATED DECISION REPORT

## APPLICATION NUMBER

**210461**

Langstone Stable, Garrenhill Road, Llangarron, Ross-On-Wye, HR9 6NR

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**CASE OFFICER: Ms Elsie Morgan**

**DATE OF SITE VISIT: 8 March 2021**

**Relevant Development  
Plan Policies:**

**Herefordshire Local Plan Core Strategy**

**SS1** Presumption in favour of sustainable development

**SS6** Environmental quality and local distinctiveness

**SD1** Sustainable design and energy efficiency

**LD1** Landscape and townscape

**LD4** Historic environment and heritage assets

**Llangarron Neighbourhood Development Plan (Regulation  
14 re-submitted 18 February 2020)**

**ENV2** Historic Assets and Village Character

**National Planning Policy Framework (NPPF)**

**Chapter 2** Achieving sustainable development

**Chapter 12** Achieving well-designed places

**Chapter 16** Conserving and enhancing the historic environment

**Relevant Site History:**

**DCSE2008/0345/F & DCSE2008/0346/L** - Proposed conversion of redundant agricultural building to form dwelling with carport and store. – Approved with conditions

## CONSULTATIONS

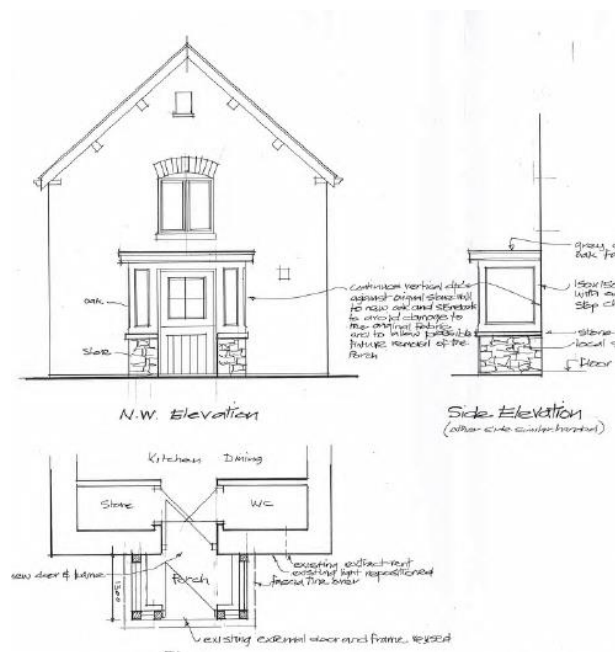
	Consulted	No Response	No objection	Qualified Comment	Object
Parish Council	X				X
Historic Buildings Officer	X				X
Ecologist	X	X			
Historic England	X		X		
Press/ Site Notice	X	X			
Local Member	X			X	

## PLANNING OFFICER'S APPRAISAL:

### Site description and proposal:

The application relates to a converted dwelling within a cluster of converted agricultural buildings situated approximately 0.6 miles to the north of Llangarron. Under the application DS080145/F which permitted conversion into residential dwelling, a number of permitted development right were removed from the site through condition. The former stable is Grade II listed and makes a valuable contribution to the group of buildings closely associated with the Grade II\* listed Langstone Court.

This application seeks permission for the construction of a flat roofed front porch over the entrance door.



### Representations:

#### **Parish Council – Objection**

“After carefully considering the comments of the Building Conservation Officer the Parish Council objects to the proposals set out in Planning Consultations 210461 & 210462”

#### **Historic Building Officer – Objection**

“The proposed addition of a porch would fail to preserve the architectural and historic interest of the Grade II listed stable, and would fail to preserve the setting of adjacent heritage assets (GDII\* & GDII); contrary to Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

The degree of harm its addition would cause to the significance of the barn, and to setting, would be classed as less than substantial; this degree of harm should be afforded great weight in the planning balance (Para.193, NPPF).

Pre-application advice provided in November 2020 outlined the unacceptability of this proposed addition; as did earlier e-mail advice provided in May 2020.

Contrary to the requirements of Paragraph 189 of the NPPF, no Heritage Statement has been provided with this application to describe what is significant about the stable, and its setting, and to outline what impact the addition would have on that significance.

Paragraph 194 of the NPPF states,

‘Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.’

#### Heritage Comments:

The addition of an entrance porch to a historic stable building would be an overtly domestic and incongruous alteration out of keeping with its agrarian character.

The former structure referred to in the D&A Statement was a modern agricultural addition designed to have supported the evolving agricultural need at that time.

As such, it would have been considered to have had a negative impact on the significance of the stable, and its surrounding setting, and its removal would have been seen as a positive intervention; as a former agricultural feature of the site it has no relevance to this proposal.”

#### **Ecologist – No response**

#### **Historic England – No comment**

“On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation and archaeological advisers, as relevant.”

#### **Press/Site Notice – 1x Support**

“This property, which is adjacent to ours, has been expertly updated and is fully in keeping with other properties in the area.

The proposed build would be a useful addition and will not be to the detriment of the existing structure or the local environment.

We fully support this application.”

**Local Member – Updated via email on 22 March. Cllr is content for determination to be made under delegated authority.**

Pre-application discussion: 202454/CE – Not supportive

Constraints:

Listed Building Grade II  
Flood Zone 2 and 3 adjacent  
Protected Species  
SSSI Impact Zone

Appraisal:

*Policy context and Principle of Development*

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 states as follows:

*“If regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”*

In this instance the adopted development plan is the Herefordshire Local Plan – Core Strategy (CS). It is also noted that the site falls within the Llangarron Neighbourhood Area, which published a draft Neighbourhood Development Plan (NDP) for Regulation 14 consultation on 18 February 2020. At this time the policies in the NDP can be afforded limited weight as set out in paragraph 48 of the National Planning Policy Framework 2019, which itself is a significant material consideration.

The Town and Country Planning (Local Planning) (England) Regulations 2012 (as amended) (the 2012 Regulations) and paragraph 33 of the National Planning Policy Framework requires a review of local plans be undertaken at least every five years in order to determine whether the plan policies and spatial development strategy are in need of updating, and should then be updated as necessary. The Herefordshire Local Plan Core Strategy was adopted on 15 October 2015 and a review was required to be completed before 15 October 2020. The decision to review the Core Strategy was made on 9th November 2020. The level of consistency of the policies in the local plan with the NPPF will be taken into account by the Council in deciding any application. In this case, the policies relevant to the determination of this application have been reviewed and are considered to remain entirely consistent with the NPPF and as such can be afforded significant weight.

Policy SD1 of the CS states that development should be designed to maintain local distinctiveness, achieved through the incorporation of architectural detailing and the use of appropriate materials. Development should safeguard amenity of existing and proposed residents and ensure new development does not contribute to, or suffer from, adverse impacts arising from noise, light or air contamination and therefore scale, height and proportion needs consideration. This refers to the continuation of local appearance through appropriate architecture which is not demonstrated in the proposed domestic extension. Extensions on converted agricultural buildings need to be carefully designed as they have the potential to affect the character and detailing of the former use – something that should be protected and retained. Whilst the porch would not be inappropriate in scale remaining subservient to the host dwelling with no impact upon residential amenity, the flat roof, overtly domestic appearance is not appropriate in the rural and agricultural setting.

Policy LD1 of the CS is also of note for this development and states that development proposals should be influenced by the existing townscape and landscape in regards to design, scale and nature. The design of the proposal does not respect the nature of the area as an agricultural setting, therefore conflict is found. As the site is comprised of a number of agricultural building conversions, this character must be maintained within any further development through its design.

Policy SS6 states that development proposals should be shaped through an integrated approach to planning a range of environmental components from the outset, including the historic environment and heritage assets. Furthermore policy LD4 states that development involving heritage assets and their setting should protect, conserve and, where possible, enhance in a manner appropriate to their significance through management, uses and design. The proposal is not influenced by the historic and agricultural host dwelling nor its setting as porches are generally domestic features, this is confirmed by the Historic Building Officer.

In view of the converted nature of the property, policy RA5 of the CS is relevant – the porch extension is a very domestic feature that would be an out of character addition to the conversion. Residential amenity is not an issue but the conversion should not necessitate further extension with such a domestic appearance.

I note the submitted Design and Access Statement refers to a former structure which was a modern agricultural addition to support the agricultural use at the time, as such the removal of this would have been a positive intervention and it has no relevance to this proposal. It is appreciated that extension has been previously granted permission to the converted barn to the north west of Langstone Stables, however this is not a listed building and the extension projected away from the converted complex, as such the schemes are assessed in a different context with lesser impact upon the significance of the historic setting. Furthermore, it is appreciated that the north west elevation is screened from the locality fronting away from the road, however the listed status of the building ensures protection of the buildings historic character not only its setting. The key prerogative, in officers' view, is to ensure that any extension seeks to maintain the character and/or appearance of the building and that 'screening' should not override the appearance and particularly, design of an extension. The NPPF states that there is an environmental objective to contribute to protecting and enhancing our natural, built and historic environment, therefore as it would be affecting the made built and historic environment it would be in conflict to this NPPF Chapter 16 policy.

Overall, the proposal is not considered to respect the character of the designated heritage asset or the surrounding agricultural setting, as confirmed by the Historic Building Officer. The principle of a porch is considered to be an inappropriate addition to a converted agricultural building, and I am therefore recommending refusal.

**RECOMMENDATION:**    **PERMIT** ☐    **REFUSE** ☒

**CONDITION(S) & REASON(S) / REASON(S) FOR REFUSAL:**  
*(please note any variations to standard conditions)*

1. The proposed extension, by virtue of its design and appearance, would be an unacceptable form of development that would be detrimental to the significance

of the designated heritage asset. The proposal would be out of keeping with the agricultural character of the converted building and detrimental to its contribution to the character of the site and surrounding area. As such, the proposal would fail to comply with the requirements of policies SD1, LD1, LD4, SS6 and RA5 of the Herefordshire Local Plan Core Strategy that seek to ensure development respects the character of the area and surroundings and the National Planning Policy Framework that promotes and reinforces the importance of a sense of place.

## Informatives

1. IP5



Signed:

Dated: 29/03/2021

### TEAM LEADER'S COMMENTS:

**DECISION:**

**PERMIT** ☐

**REFUSE** ☒



Signed: ..... Dated: 29 March 2021 .....