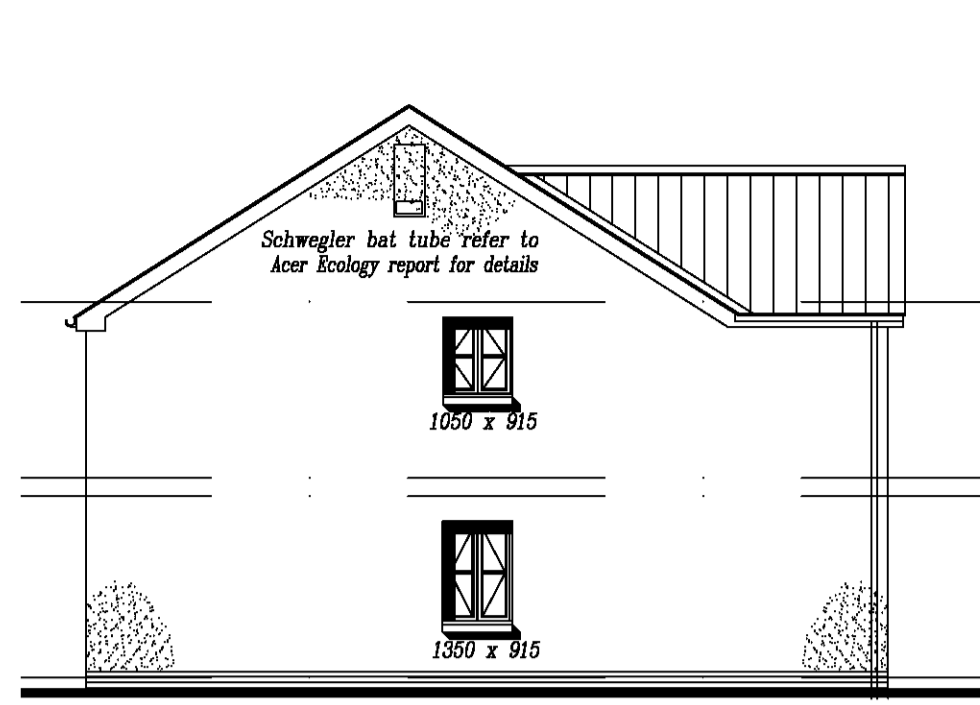




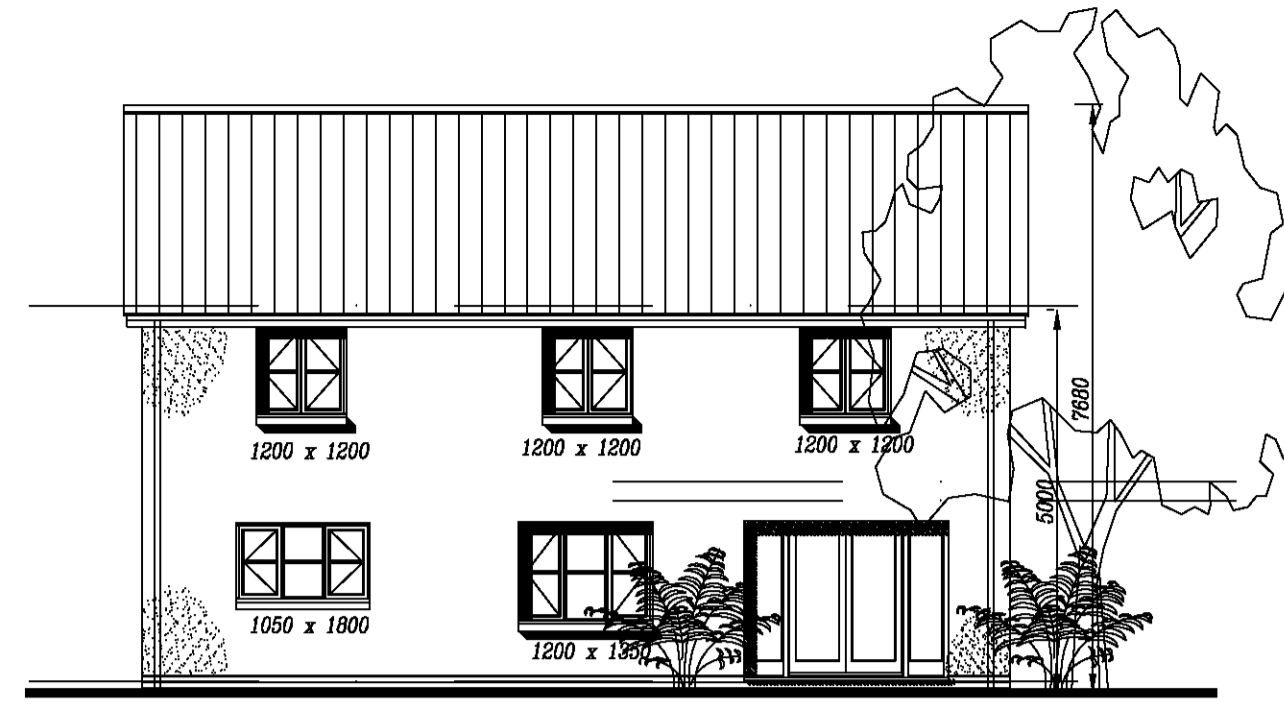
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

External Finishes :-

- Ridges Staffordshire blue clay
- Roof SVK Montana blue/black slates
- Walls Decorated plain face cream K render
- Fascias & Bargeboards White PVCu
- Windows White PVCu double glazed side hung casements.
- Rainwater Goods White PVCu
- Front Door & Frames Woodgrain composite
- Garage Door Woodgrain galv steel up and over door

NB all external and internal doors to be 825/835 wide GF toilet door 825/838 wide  
NB Continuous handrail to both sides of stairs

- (S) Main operated with battery backup interlinked smoke detectors
- (C) Main operated with battery backup interlinked smoke detectors
- (M) Main operated with battery backup interlinked carbon monoxide detectors
- (MV) Mechanical extractor fan ducted direct to external air
- (7) 30min fire resistant self closing door with intumescent strips and cold smoke stop seal

NB 10MM EXPANSION GAPS TO DETAIL MUST BE PROVIDED AT 10.000 CRS  
MAX IN FACE BRICKWORK AND 4.000CRS IN BLOCKWORK MAX

All first and second floor habitable rooms to have escape windows 600 wide  
1050 high min and 1000 max from floor level overall the sill

All first and second floor windows to fitted with restrictor stays to prevent  
falling and projecting hinges to permit easy cleaning

NB A full ground condition survey is to be carried out by a structural engineer  
and suitable foundations designed to avoid any problems due to ground heave  
through poor ground conditions caused by recently felled trees

NB AIR TEST CERTIFICATE TO BE PROVIDED BY SPECIALIST CONSULTANT UPON  
COMPLETION OF THE CONTRACT

COMPLETION SAP CALC'S AND ENERGY PERFORMANCE CERTIFICATE TO BE PROVIDED  
AT THE COMPLETION OF THE CONTRACT

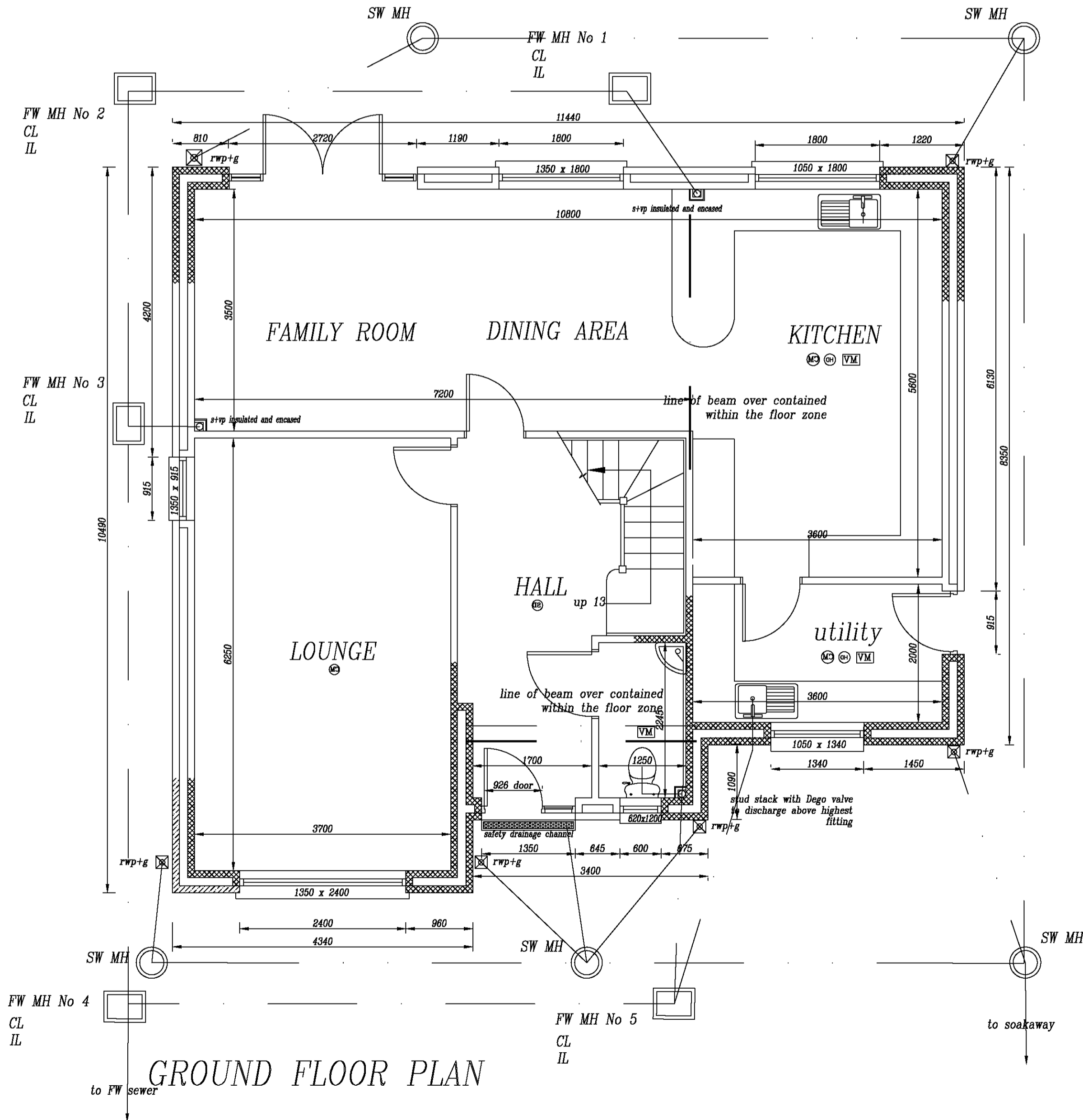
Note: In the event the any of the works are to be  
carried out in close proximity to a boundary/neighbouring  
property or to a party wall it will be necessary to  
notify all relevant parties of the impending works.

Formal agreement to the works as required under  
the party wall act 1996 is to be obtained prior to  
commencing on site.

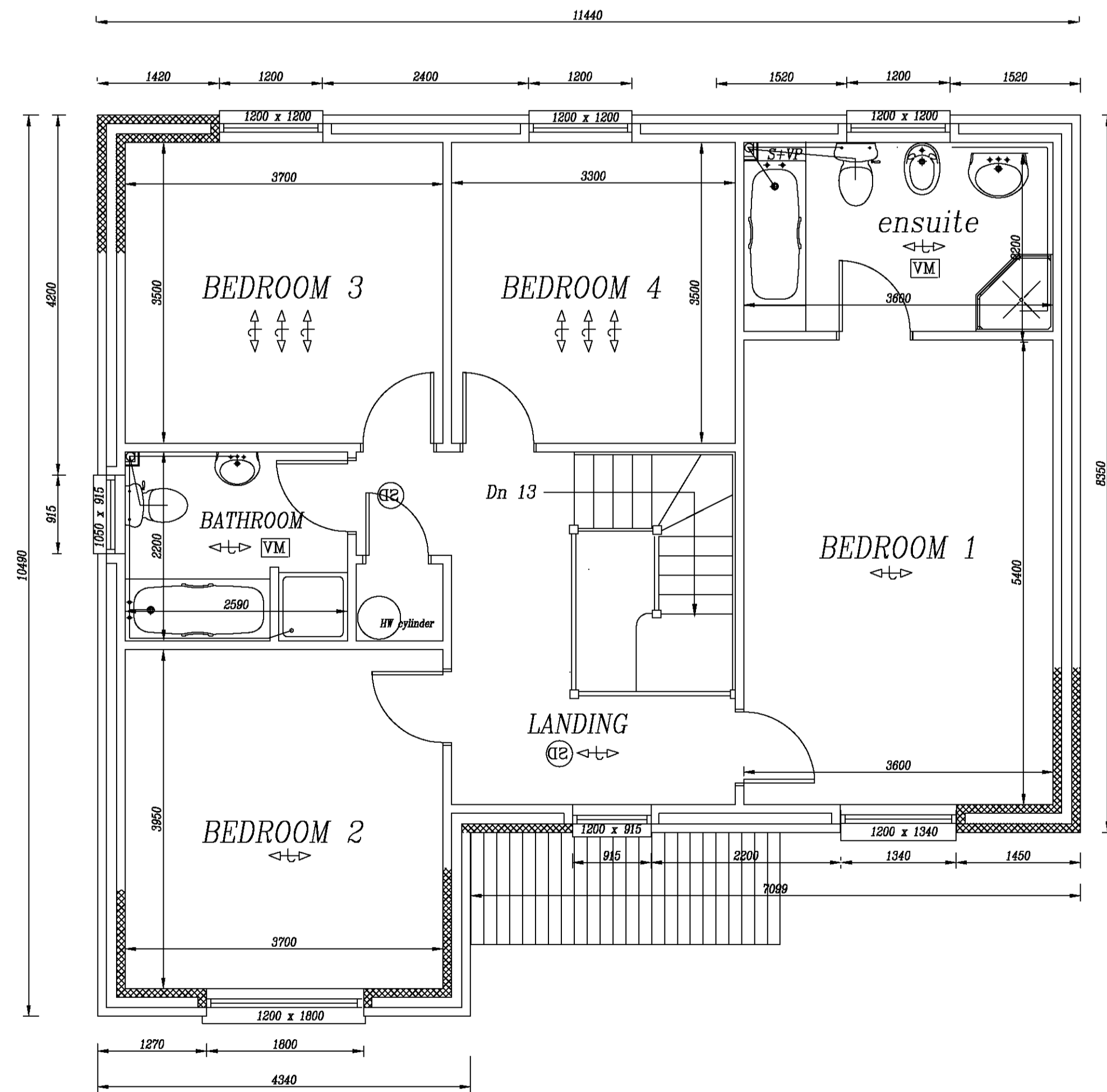
If necessary a conditional survey of the neighbouring  
land or stuctures should also be undertaken prior to  
the works commencing.

Plot 2 as drawn plot 1 handed refer to Drg No 1514-17A

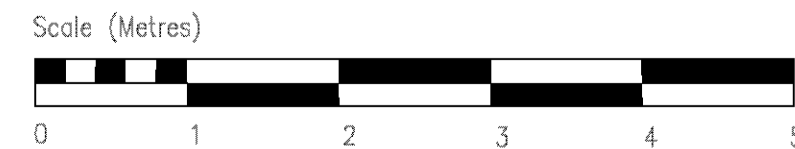
ALL FW & SW DRAINAGE, SOAKAWAYS ETC SUBJECT TO DRAINAGE ENGINEERS DESIGN AND DETAIL



GROUND FLOOR PLAN



FIRST FLOOR PLAN



PLEASE READ THE FOLLOWING INSTRUCTIONS VERY  
CAREFULLY & ENSURE THEY ARE IMPLEMENTED.

DO NOT SCALE.

All measurements & levels shown are subject to checking  
on site by the contractor. Figured dimensions to take  
precedence over scaled.

All working dimensions must be taken from, checked &/or  
verified by the main contractor on site prior to the  
manufacture of all items & the placing of all work in  
hand.

Working dimensions must not be scaled from this drawing.  
In all cases of doubt or discrepancy please refer to the  
architect, surveyor, supervising officer or consultant for  
instructions.

The main contractor must ensure that all appropriate  
architects, surveyors, supervising officer, consultants &/or  
specialists drawings are read in conjunction with this  
drawing.

All work is to comply with the current building regulations,  
local authorities bye-laws stipulations & requirements of  
statutory bodies.

Serve all notices to the authorities concerned.

All work is to comply with the current editions of the  
British Standards Institution codes of practice.

All materials & components to comply with the current  
editions of the Building Standards Institution specifications.

Prior to commencing work, the contractor is required to  
communicate with the relevant authorities, bring them to  
site & to locate the positions and lines of all services  
(e.g. water, gas, electricity, telephone, redifusion, sewage  
etc.) on, over, under & around the site which could in  
any way affect the positioning of the buildings. Copies of  
the correspondence & a full report of the findings must  
forwarded to the architect, surveyor, supervising officer  
or consultant before building works commence.

This drawing is copyright.

AMENDMENTS		
rev.	date.	description.

M.John Crowther & Associates.  
Architect, Surveyors  
Planning Consultants

Suite 2, Cobb House, 82 Newport Road, Caldicot, Mons. NP6 4BR  
(0291) 423636 (0291) 420405 email crowth@lineone.net  
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Site  
Proposed Housing Development  
Brookside, Whitchurch,  
Ross on Wye HR9 6DJ

Element/Worksection  
Plans and Elevations  
House Type 4 Handed version

PLANNING		Scale
		1:50 1:100@A1 1:100 1:200@A3
Drawn MJC	Date 03/06/20	CAD Ref. C: Cad\1514\1514-18
Checked	Date	Drawing No. 1514-18