

The Moor Tower

Hay-on-Wye, Hereford, HR3 5EZ

MICA

Description of Works & Outline Specification

666-60000

March 2020



Project Team Details

Client

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The Penoyre Trust
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Hardwicke
Hay-On-Wye
Hereford
HR3 5HA

Rev	Issued by	Date	Approved by
P1 - Tender	JE	23.03.20	SC

Architecture

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Fire Engineer

Richard O'Connell
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This document has been prepared by MICA Architects on behalf of The Penoyre Trust as part of a tender for the re-development and restoration works to The Moor Tower. The following pages provide an overview of the project, current condition, design and outline specification. It is to be read in conjunction with the issued tender drawings listed overleaf.

As part of the pricing for the project Items below are subject to further builders design and coordination once appropriate trades are on-board

1. Full MEHP - A Design intent has been provided for suitable location of internal water heater/tank, Service routes in & out on the ground floor, position of water storage tank & Internal riser zones for services.
2. In accordance with the Fire Engineer report a sprinkler & alarm system (details below - SECTION 10) are required.
3. All internal timber internally is to be supplied to by the client - Flooring drawn at 250mm wide boards, 25mm thick - this is subject to supply, planing and site measure. Additionally Fixed furnished items, including the Kitchen assembly, Double & Bunk beds and fitted cabinetry are of a bespoke nature and should be made to suit following site surveying.

NB. Mattress atop bespoke beds will be bespoke sizes, measure and client supplied post furniture construction

4. Full site measure for all joinery and fit-out items - all timber including stairs and flooring to be scribed to out of plumb walls.
5. Oak Joists to be used (exposed) and all sundry items including joist cradles to be included within price. A Underfloor heating System (Wet) is proposed - Pipework concealed with Brick h ply fitted to underside.

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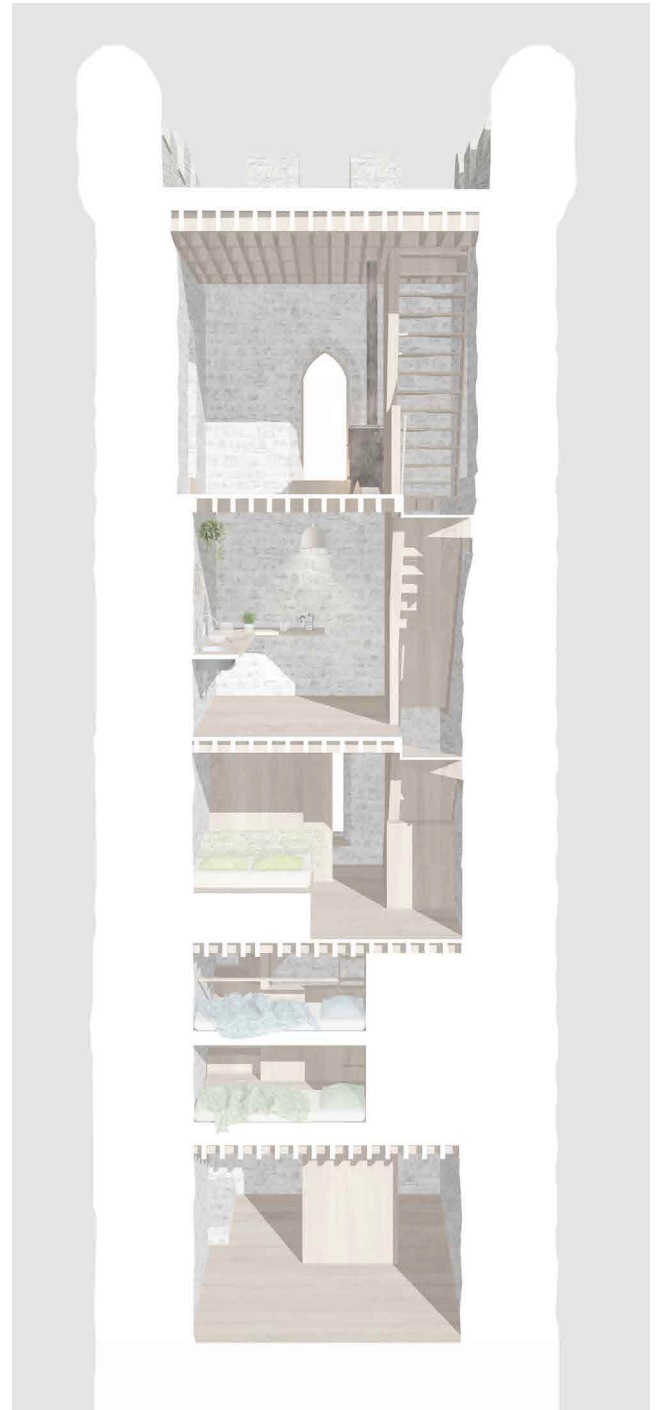
1.0 Description & Schedule of Works

GENERAL SUMMARY

The project involves the full renovation of a Grade II listed historic Water tower, Historically belonging to the Moor Estate. Principally the works include the full removal of all interior parts and the roof structure and subsequent replacement in order to form a habitable dwelling including Bathroom, Bedrooms, Kitchen, Living room & Roof terrace. Additional landscaping work are to be instructed by the client.



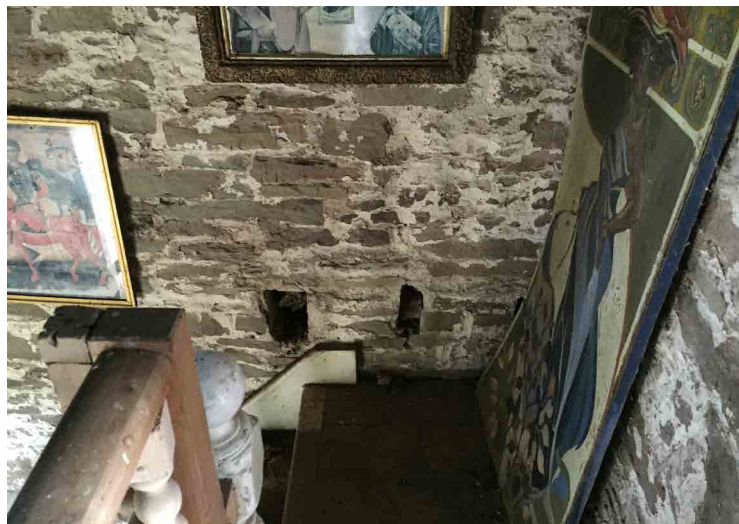
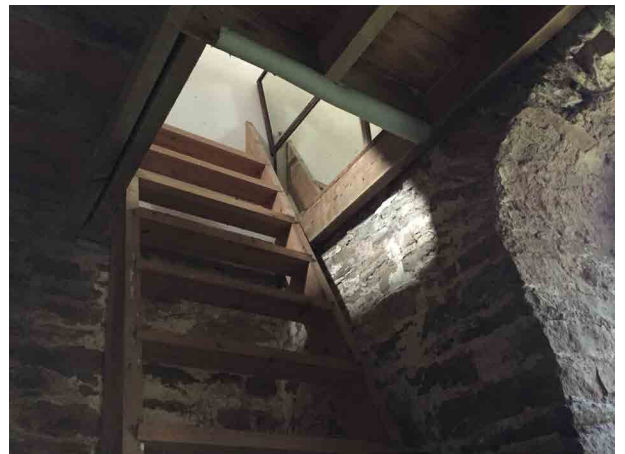
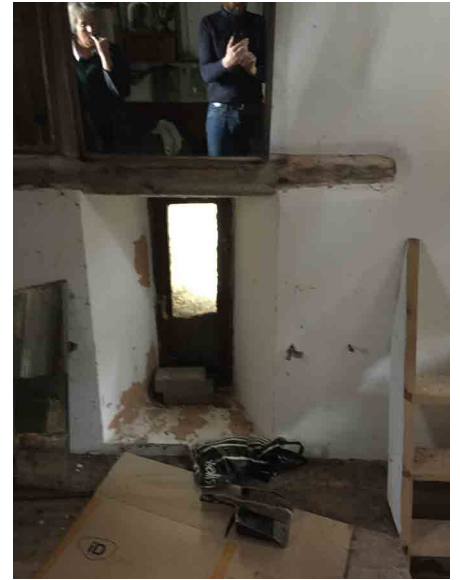
INTERIOR PERSPECTIVE LOOKING EAST

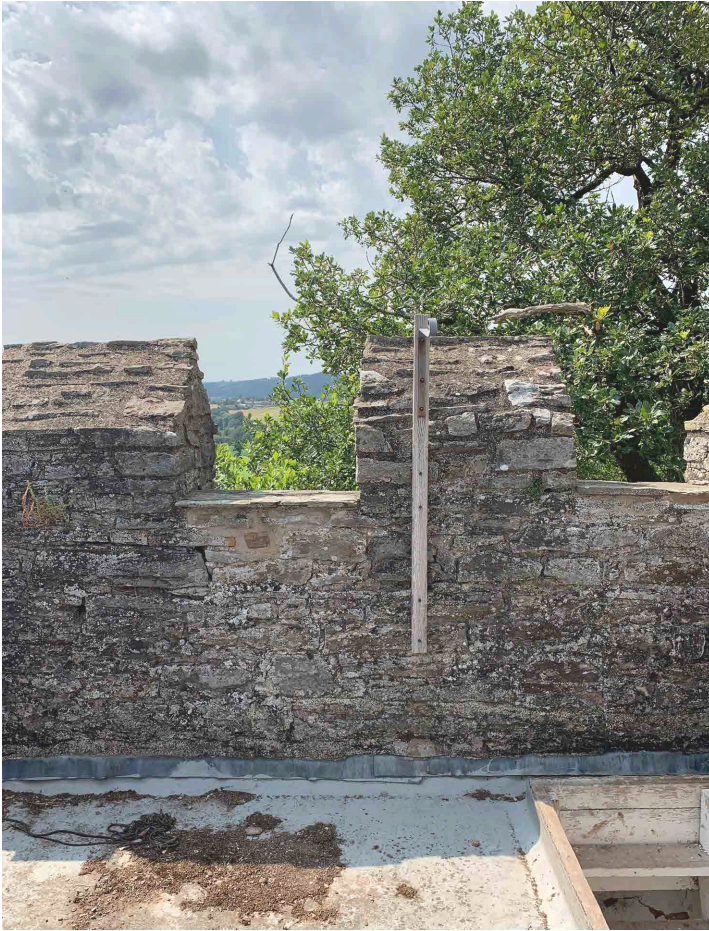


VIEW NORTH

EXISTING SITUATION

Collection of Photographs depicting the current condition - Internal fabric, joinery and windows to be removed. Existing linings to be removed and replaced - Exposed areas of stone internally to receive lime wash finish as detailed in the specification below.





Current roof finish & leading to perimeter. Crenellation to surround



Approach & tower base

FINISHES AND QUALITY

Walls and ceilings

Finishes are primarily painted plasterboard, Lime wash & exposed timber.

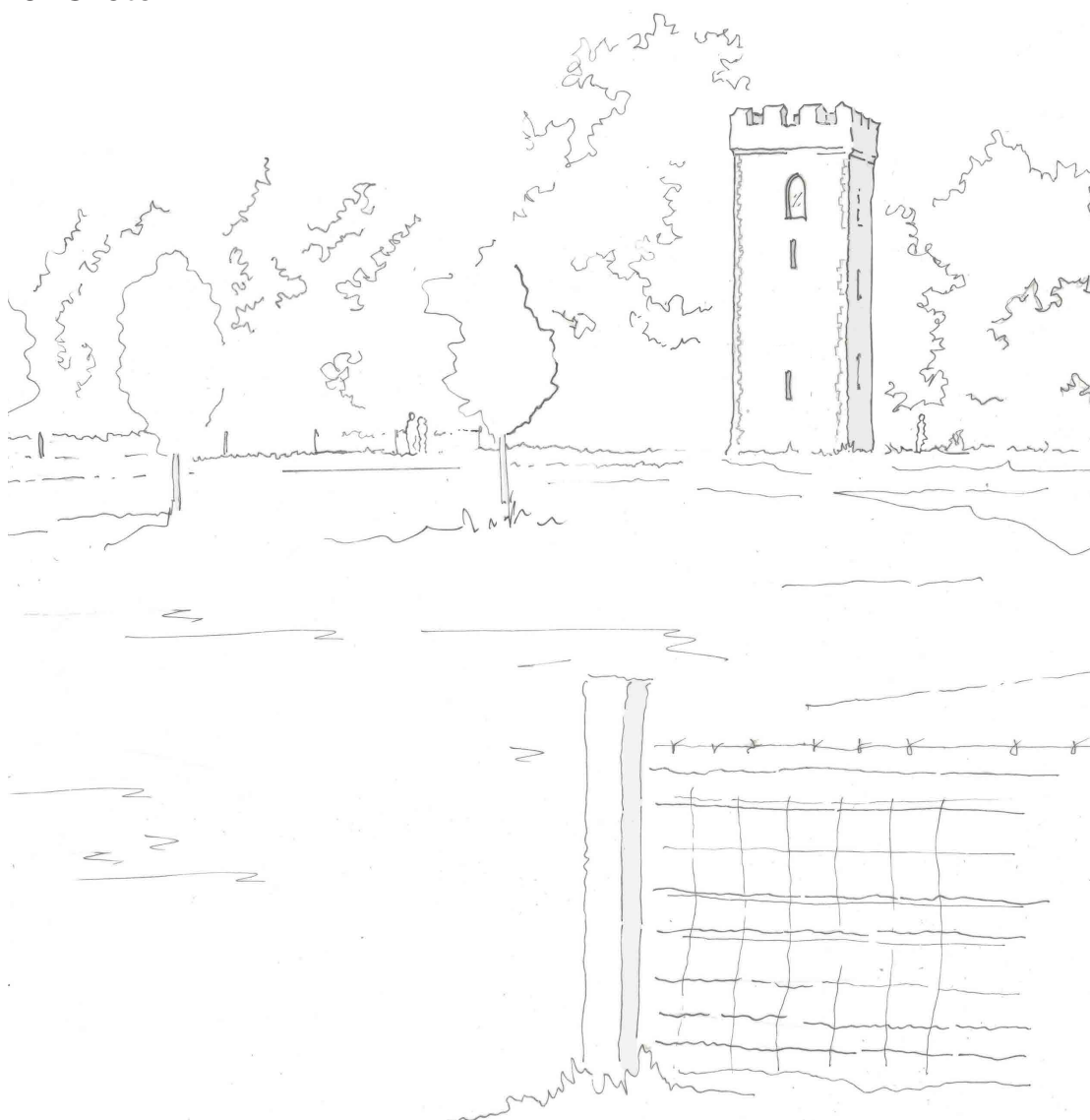
Internal wiring to be concealed properly behind timber finished faces where suitable and routes made accessible.

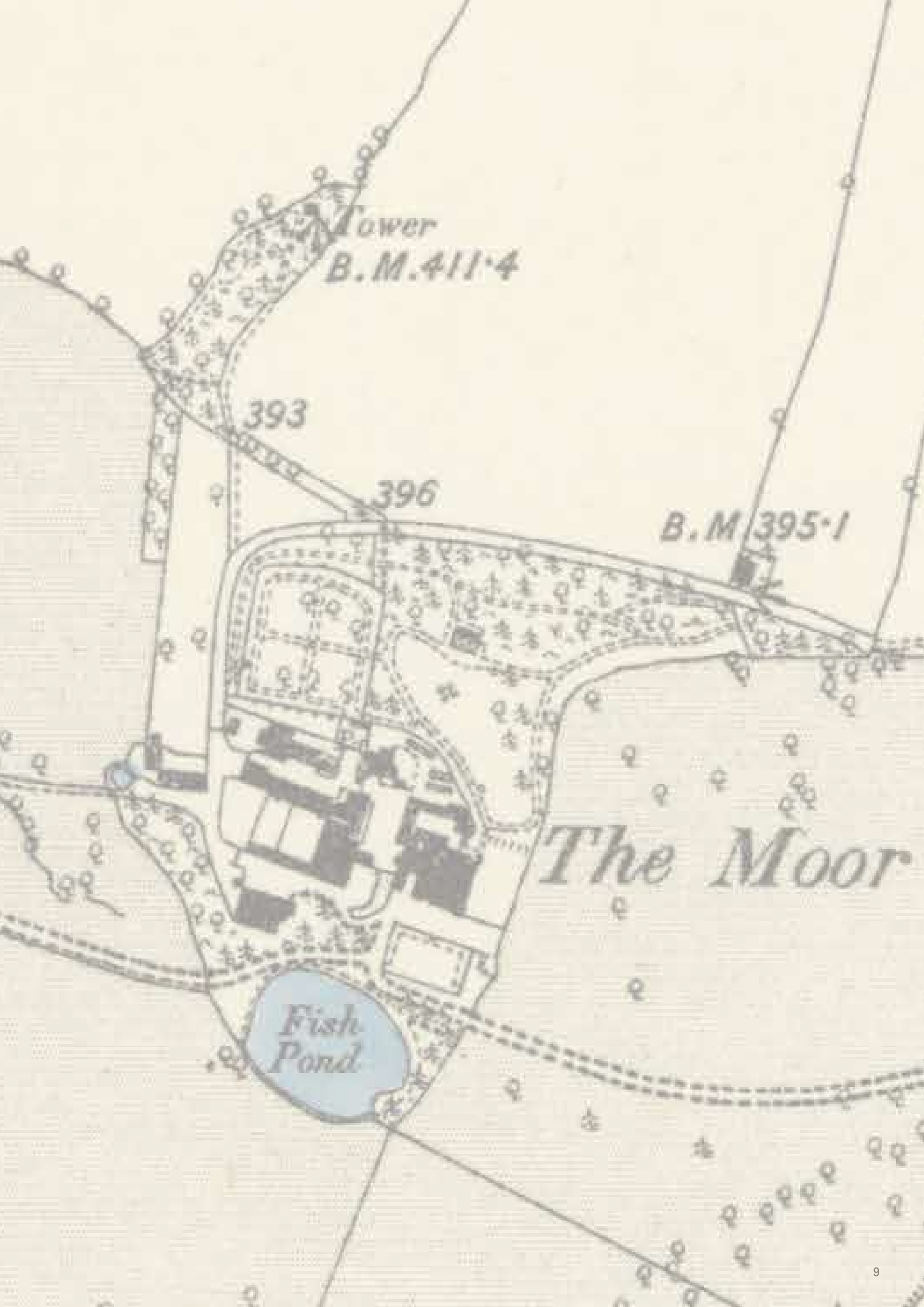
The appearance of timber should be of continuous clear planes which need to be smooth and level and reconcile any unevenness within the existing building - where timber abuts internal uneven finishes these should be scribed to suit with a 10mm shadow gap retailed.

ELECTICAL & MECH SERVICES

All routes for mechanical and electrical services and drainage shall be arranged to be visually unobtrusive and cause the minimum disturbance to historic fabric. Details shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the relevant sections of works. These shall include types, sizes and positions of soil and vent pipes, waste pipes, rainwater pipes, boiler flues and ventilation terminals, meter boxes, external lighting and cabling etc. The development shall be carried out in accordance with the approved details.

Exterior Sketch





2.0 Preliminaries

1.1 PLANNING CONDITIONS

Planning Permission and Listed Building Consent has been obtained from Hereford CC in October 2019, conditions listed in Appendix

1.2 STATUTORY APPROVALS

A Full Plans Building Control application has yet to be made to Herefordshire Building Control.

1.3 FIRE ENGINEERING STRATEGY

As part of an engineered response to fire safety within the building it is proposed a Cat 2 Sprinkler system is installed with 1 no sprinkler head per floor - centered on ceiling.

Additionally an L1 Alarm system is proposed and should be included within a returned tender sum.

1.4 PRICING SCHEDULE & SCHEDULE OF WORKS

The following summarises the agreed scope based on discussions, with the client and Architectural drawings

1.5 Project Management Following Tender & Construction:

It is intended and agreed that the client and/or successful contractor will be project managing and delivering construction information.

1.6 PROGRAMME:

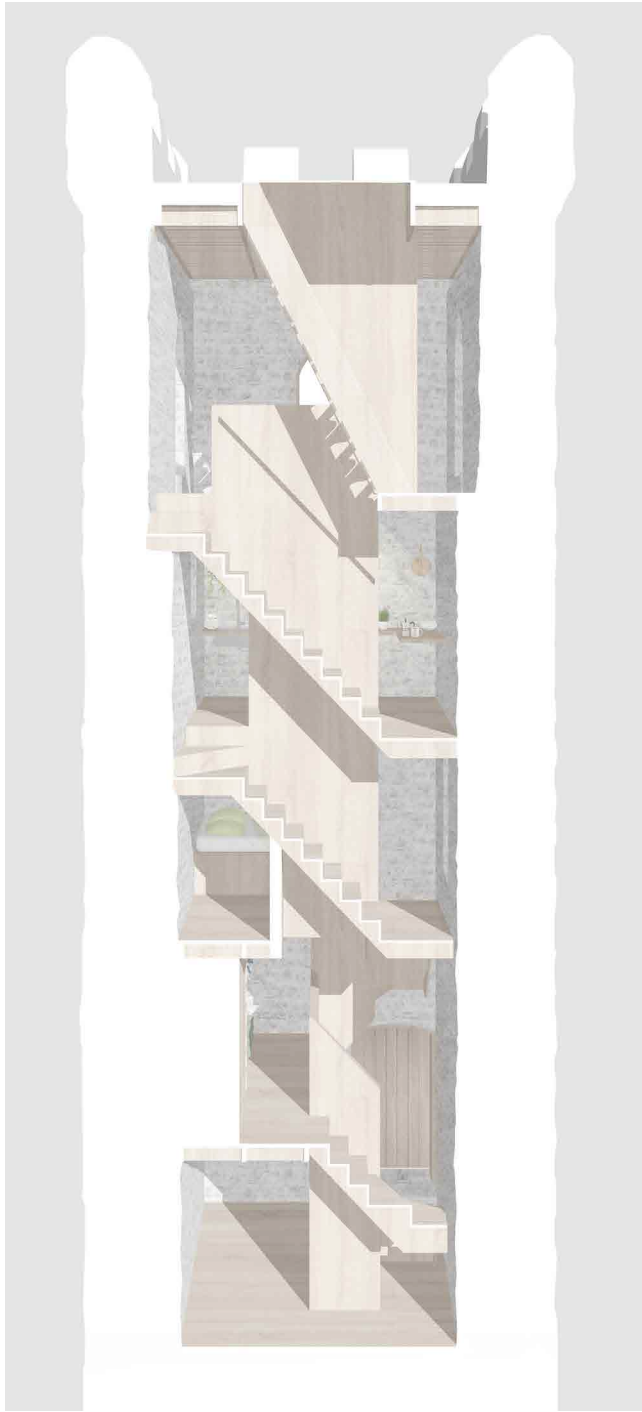
Client to advise on specific program dates - Project completion for the 2021

1.7 NAMED SPECIALISTS

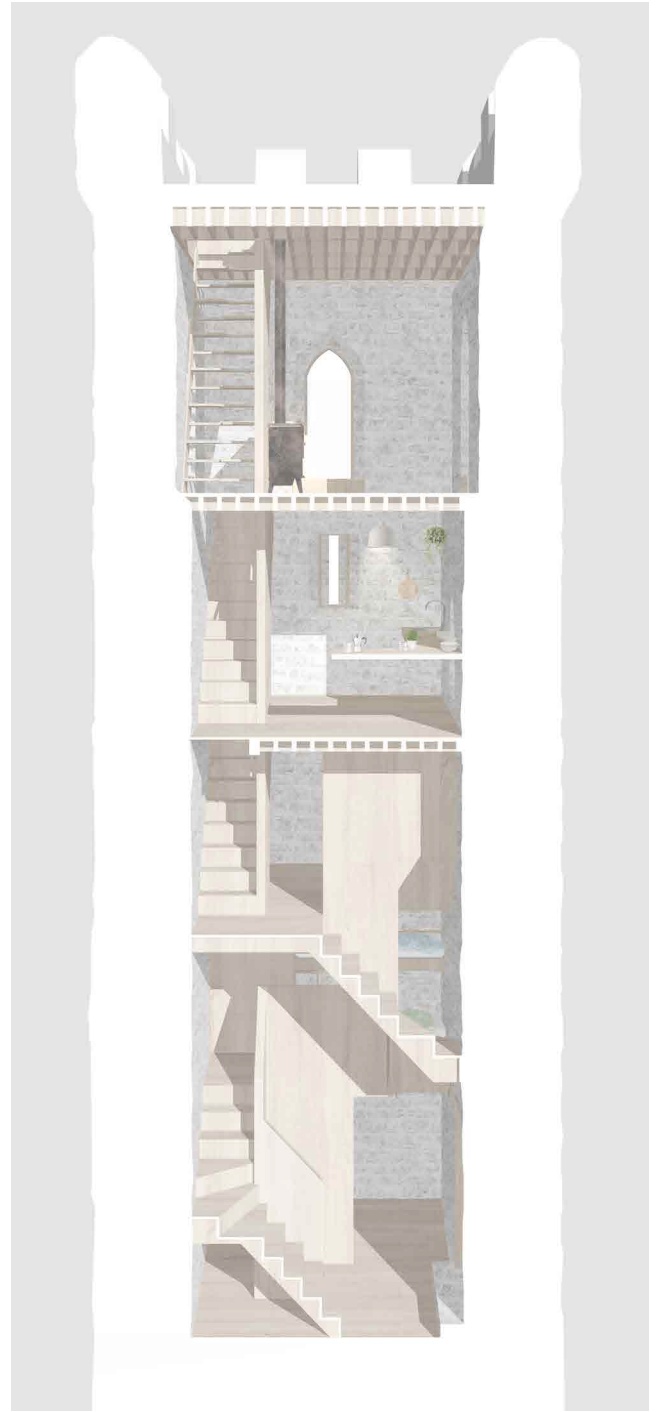
E.L.M.S (erepas land management services (ecology)) have provided ecological appraisal for the project. Bat mitigation licence need to be in place prior to project commencement. (E.L.M.S report included within tender material)

1.8 SITE STATUS

The Moor is currently unoccupied, with no connected services.



INTERIOR PERSPECTIVE LOOKING WEST



VIEW SOUTH

3.0 External Walls

Please refer to external wall detail series 637_15000 series drawings

- 3.1 Existing Stonework of the Moor to remain untouched and protected save for appropriate making good, restoration and re-pointing works.

3.2 Mortar & Pointing

No pointing or re-pointing of existing stonework shall commence until a drawing identifying the affected areas, details of the method of removing the existing mortar and details and samples of the new mortar mix and joint finish have been submitted to and inspected and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details.

Mortar mix coloured to match existing to be used - range of standard premixed, ready-to-use non-hydraulic or fat lime putty mortars using aggregates can be sourced from Ty Mawr. The mortar is to be of a quality and colour and type of pointing approved by the Local Authority and BS EN 413-1: 2011.

<https://www.lime.org.uk/products/lime/mortars.html>

3.3 Sundry Items for External Stonework

Please account for sundry items as necessary.

4.0 Glazing / Windows & Ext Door

4.1 Rooflight

- Framed opening rooflight above third floor Stair.
Manufacturer and reference: GlazingVision. (0179 658300)
<https://www.glazingvision.co.uk>

GV SKYDOOR HINGED ACCESS ROOFLIGHT

Skydoor is designed for day to day access to roof terraces and is operated by intelligent LED control switch responding to both one touch and press and hold requests.

The Skydoor opens out to a maximum 87 degrees at full travel by means of synchronised dual actuators but the unit can also be stopped mid travel at any point enabling its use as a large scale natural ventilation rooflight.

Features:

- Concealed operating mechanisms.
- Access and ventilation functionality.
- Qualicoat approved dual colour powder coated finish.
- Maximum daylight due to minimum framework.
- Thermally broken framework.
- Infra-red and current override safety features as standard.

Size: 1020mm x 1860mm

Type: Single Leaf

- Colour/ finish:

[Qualicoat approved polyester powder coated, RAL]. - RAL 7015 and RAL 9010 on interior of base,

- Glazing details
Outer: 6mm clear toughened heat soaked tested.
Spacer: 16mm black silicone sealed Argon filled cavity
Inner 6mm clear soft low E toughened heat soak tested
- Power supply
Internal 24 V, 14.6 A, 300 W mains powered supply.
- Drive mechanism
Pair of Simon RWA folding arm 2 actuator.
- Seals
Combination of inner rubber silicone seal and outer EPDM bubble seal.
- Accessories

Rain Sensing
Rain Sensor Override
Remote control

4.2 External Windows & Door

Bespoke double glazed, casement timber windows & Tounge and Grove Oak Door.
(8no. as per MICA drawings)

All window openings to be surveyed prior to any order being placed

Window details subject to discharging of Listed Building Consent Conditions *(Attached within the appending of this document)*

4.3 Suggested Suppliers:

JM JOINERY,
Unit 3 Knockerhill Farm, Callow,
Herefordshire,
HR2 8BP

<https://www.jmjoinery.com/windows>
01432 357357

SIMON MOORHOUSE, BESPOKE JOINERY
Unit 3, Maesllan Industrial Estate
Llanidloes
Powys
SY18 6DF.

<https://www.simon-moorhouse.com/windows>
01686 411 105.

5.0 Floor Finishes

5.1 INTERNAL -

All flooring formed of Client supplied Oak borads - Typically board size 250mm planed to 20 - 25mm thickness

GF Entrance lobby & Bathroom - Natural Slate tiled finish to full extend of ground floor. Allow for approx 9 - 10 sq meters (excluding wastage).

Proposed Natural Slate tile (subject to client approval) atop floor build up as below (Figure X)

5.2 EXTERNAL -

Composite Decking to 1st Floor roof terrace.

Millboard 'Smoked Oak' Enhanced grain composite decking, Board size: 176 x 3600 x 32mm. Coverage: 1.54 boards per m2. Weight: 11.4Kgs per board

<https://www.millboard.co.uk/>

Please refer to manufacturers technical details and specification for installation guidance / instruction.

Allow for isolating membrane and roof waterproofing

Please include for composite joists, & joist cradles

Please refer to manufacturers technical details and specification for installation guidance / instruction

Total approximately area of - 10sqm - Drawing ref 666-12006

6.0 Roofing

6.1 Waterproofing

Proposed single ply liquid membrane to be applied to flat roof construction.

Technopol - Desmopol Single Component, Polyurethane Waterproofing Membrane, Or similar subject To Client Approval. Membrane up-stand minimum 150mm to perimeter

6.2 Lead Cover flashings to perimeters.

6.3 Insulation - Kingspan Styrozone or similar Insulation For Protected Membrane Flat Roofs (Figure X)

6.2 Roof Drainage Design

Roof laid to 1deg fall towards REP outlet, fall achieved fro timber firings.

Contractor to complete the rainwater drainage design of roof terrace areas in accordance with BS EN 12056-3 - Exiting timber rain water spout on Roof (Fig X) restored/replaced to match as existing, client to confirm.



Figure 1: Ground Floor Build-up - As be Ty Mawr system. SumLine insulated limecrete floor. Including UFH. GF approx 9sq m



Figure 2: Kingspan typical roof build up.

7.0 Ironmongery

7.1 Door Handles

MANSON HANDLE, BRISTOL KEYHOLE PLATE, MATT BLACK
(or similar as window manufacturer suggest)

1no Pair

Supplier: Jim Lawrence

<https://www.jim-lawrence.co.uk>

Drawign Ref: 666-MICA-MT-ZZ-DR-A-15000

Note - To include Mortice Set from Same supplier.

7.2 Window Ironmongery

Openable windows (8 No)

LONDON WINDOW LATCH IN ANTIQUED BRASS

(or similar as window manufacturer suggest)

Supplier: Jim Lawrence

<https://www.jim-lawrence.co.uk>



Figure 3: Jim Lawrence Window Latch

8.0 Lighting & Electrical Fittings

8.1 EXTERNAL

1no GRANARY LIGHT IN ANTIQUED BRASS

Supplier: Jim Lawrence

<https://www.jim-lawrence.co.uk>

Drawign Ref: 666-MICA-MT-ZZ-DR-A-15000

8.2 INTERNAL

MATLOCK SPOT LIGHT IN POLISHED

Quantity - Provisionally allow for 5no per floor - Fitted to joists
location TBD.

<https://www.jim-lawrence.co.uk>

8.3 Electrical Faceplates

All facepaltes, sockets & Switches by MK Electric.

Range: MK Edge

Brushed Stainless Steel & White Inserts

www.mkelectric.com .



Figure 4: External wall light - positioned above external door. Subject to Listed building consent condition discharge



Figure 5: Internal spot light - Fixed to exposed joists .

9.0 Internal Wall Finishes

9.1 LINING TO INTERNAL WALLS.

All lining to internal wall as per 12000 series drawings using client supply planed oak boards - board widths subject to supply and checking on site. Planed to a dimension of 20 - 25mm

Lining set out from out of plum wall using 50 x 75mm timber battens.

9.2 ANY REPAIR TO EXISTING STONework

Repair & Filling small areas with suitable matching stonework and material inc. Lime mortar as Item 3.0

9.3 WALL FINISH (whole tower excluding Timber lining)

Graphine Lime wash finish to all exposed internal walls & window apertures & heads that are not timber lined.

<https://www.lime.org.uk>

Method as advised by Ty Mawr:

Brush down all internal wall with a stiff brush, removing all loose and crumbling stone/debris to leave a firm surface.

Note - No power tools permitted by the Local Authority

Coat over all surfaces with a plastering lime & sand mix to suitably cover (Buttering) the surface 1-2mm thick. As going off sponge into surface for even coverage.

Sponging process with leave a grainy texture, once sponged go over with a plastic trowel to smooth.

Apply Ty Marw Graphine Lime Wash - Colour Off White of all surfaces. Graphine based product is used to reduce chalking of the material

For further detail and instillation methods contact Supplier.

9.4 GROUND FLOOR (BATHROOM)

Tiled finished to bathroom wall

Domus Terrenova - DMSN 01 Natural Finish
595 x 595 x 10.5mm (R)



Figure 6: Ty Mawr - Lime Washed Stone wall
Design intent

10.0 SANITARY & KITCHEN APPLIANCES

10.1 WC PAN AND FLUSHING ARRANGEMENT -

Scope: As MICA Ground Floor Drawng. -

Standard: To the DEFRA “WC Suite Performance Specification” or equivalent approved by the relevant water undertaker.

- Type: Floor Mounted Close-Couples WC Pan - Open Back
<https://www.vitra.co.uk>
- Pan reference: Vitra Integra Floor Mounted WC:
7044B003-0075 – White.

10.2 WASHBASIN

Scope: As MICA Ground Floor Drawing -

Type: Wall-mounted basin

Basin:

Manufacturer and reference: Vitra (UK) Ltd (01235 750990)
<https://www.vitra.co.uk>
Vitra Inegra Standard Washbasin
45mm Square - 7047L003-0001

Arrangement: 1 tap hole with overflow.

Colour: White.

Size: 450(w) x 355(d) mm.

Mixer tap (self-closing):

Manufacturer and reference: Grohe Ltd. (0871 200 3414)
<https://www.grohe.co.uk>

Euroeco Special Single Lever Basin Mixer - 32788000

Finish: Chromium plated.

[Note: Pop-up waste mechanism not required].

Waste (clicker): Ideal Standard / Armitage Shanks (01543 490253) <https://www.idealspec.co.uk>

Click Plug Slotted Waste – S8803(AA)

Finish: Chromium plated.

- Bottle trap: Ideal Standard / Armitage Shanks (01543 490253)
<https://www.idealspec.co.uk>
Contemporary E0079AA – Chromium Plated.
- Finish: Chromium plated.

10.3 Kitchen Sink & Tap

Scope: As MICA Second Floor Drawng.

Stainless Steel Flushmount bowl - Inset to bespoke oak worktop Joinery

Mythos MYK 110-55. Stainless Steel

www.Frankie.com

Mixer Tap - Tube Side Lever Kitchen Mixer

Single Leaver, Brushed Stainless Steel.

www.crosswater.co.uk

10.4 Counter-top Induction Hob

30cm Touch Control Induction hob, with angled edge glass

Product Ref: S15322B

Manufacturer: Smeg

www.smeguk.com

11.0 MEHP

- 11.1 All drainage from the Moor to discharge into a Domestic Sewage Treatment Plant; as per Planning guidance & subsequent permission.

Proposed System: Klargest BioTec Domestic Sewage Treatment Plant

www.kingspan.com

- 11.2 Internal Heating

Hot water Cylinder tank proposed within Defined space on Ground Floor Plan.

Suitably sized to suit 4 person usage & Space Provided.

NB Water supply is not via mains - Secondary supply tank (external could be utilised)

- 11.3 Sprinkler System

In accordance with the Engineered Fire strategy & subject to Building Control Approval a Category two Sprinkler system is proposed.

One Sprinkler head per ceiling

Reiser position as indicated on 12000 on plans - south-west corner of the tower's interior.

A tank is to be positioned external (estimated 3000ltr) & submerged - Water feed to enter at Ground Floor.

Suggested supplier - Domestic sprinklers or similar

- 11.4 Alarm System

In accordance with the Engineered Fire strategy & subject to Building Control Approval - L1 system to be installed .

- L1 provides for Automatic Fire Detection (AFD) to be installed into all areas of a building.

- 11.5 HEATING

An Underfloor Heating system is proposed across all new floors
(Wet System) Fed from water cylinder (item 11.2) Ref Figure 8, overleaf.



Figure 7: Domestic Sewage Treatment Plant

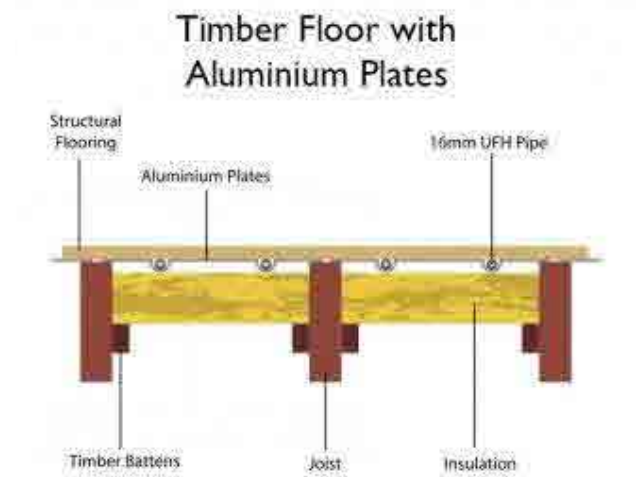


Figure 8: UFH (Wet System) within a timber floor & joist Construction. typical Detail

Appendices

- 1 PLANNING & LBC CONDITIONS - *Herefordshire County Council*
- 2 FIRE ENGINEERING REPORT - Richard O Connell, The Fire Practice
- 3 ECOLOGY REPORT - ELMS

PLANNING PERMISSION

Applicant:

Mr Ben Morgan
The Penoyre Trust
Hardwicke Court
Hardwicke Hay-On-Wye
Hereford
HR3 5HA

Agent:

Mr Evans
MICA Architects
123 Camden High St
London
NW1 7JR

Date of Application: 20 March 2019

Application No: 190886

Grid Ref:324203:243429

Proposed development:

SITE:	The Moor Tower, Hay-on-Wye, Herefordshire,
DESCRIPTION:	Proposed internal and external alterations, to include removal and replacement of internal fabric of the building to create a self- contained unit of accommodation for holiday let. New access track and parking area.

THE COUNTY OF HEREFORDSHIRE DISTRICT COUNCIL hereby gives notice in pursuance of the provisions of the above Acts that PLANNING PERMISSION has been GRANTED for the development described above in accordance with the application and plans submitted to the authority subject to the following conditions:

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990.

- 2 The development hereby approved shall be carried out strictly in accordance with the approved plans (drawing numbers 19001 PL1, 19006 PL1, 19015 PL2, 19017 PL2, 19025 PL2, 19026 PL1, 19030 PL2, 19031 PL2, 190035 PL2 and 7000 PL2 – Design & Access Statement & Heritage Statement) and the schedule of materials indicated thereon.

Reason: To ensure adherence to the approved plans and to protect the general character and amenities of the area in accordance with the requirements of Policy SD1 of the Herefordshire Local Plan – Core Strategy and the National Planning Policy Framework.

- 3 The building which is the subject of this application shall be used for holiday accommodation only and for no other purpose including any other purpose within Class C of the Schedule of the Town and Country Planning (Use Classes) Order 1987, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification.

Reason: Having regard to Policies E4 and SD1 of the Herefordshire Local Plan – Core Strategy and the National Planning Policy Framework, the application has been assessed as holiday accommodation and would require further assessment if this were to change.

- 4 With the exception of site clearance and groundworks, no further development shall commence prior to completion or first occupation of the approved development, whichever is the sooner.

A landscape scheme shall be submitted and approved in writing by the local planning authority. The scheme shall include a scaled plan identifying:

- a) Trees and hedgerow to be retained, setting out measures for their protection during construction, in accordance with BS5837:2012.
- b) Trees and hedgerow to be removed.
- c) Native planting for enhancement and mitigation measures to be clearly identified on the Landscape Plan.
- d) All proposed planting to be accompanied by a written specification setting out; species, size, quantity, density with cultivation details.
- e) All proposed permeable hardstanding along with appropriate boundary treatment to be shown on the Landscape Plan

Reason: To safeguard and enhance the character and amenity of the area in order to conform with policies SS6, LD1 and LD3 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework.

- 5 All planting in the approved landscaping scheme shall be carried out in the first planting season following the occupation of the building or the completion of the development, whichever is the sooner.

Any trees or plants which die, are removed or become severely damaged or diseased within 5 years of planting will be replaced in accordance with the approved plans.

Reason: To safeguard and enhance the character and amenity of the area in order to conform with policies SS6, LD1 and LD3 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework.

- 6 Before the development is first occupied or brought into use a schedule of landscape maintenance for a period of five years shall be submitted to and approved in writing by the local planning authority. Maintenance shall be carried out in accordance with this approved schedule.

Reason: To safeguard and enhance the character and amenity of the area in order to conform with policies SS6, LD1 and LD3 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework.

- 7 All foul water shall discharge through connection to a private foul water treatment system with final outfall to suitable soakaway drainage field on land under the applicant's control; and all surface water shall discharge to appropriate SuDS or soakaway system; unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to comply with Conservation of Habitats and Species Regulations (2018), National Planning Policy Framework (2019), NERC Act (2006), and Herefordshire Core Strategy (2015) policies LD2, SD3 and SD4.

- 8 No works associated with this development shall commence until further appropriate optimal period bat surveys (mid- May to August) have been carried out and a complete report, including details of required European Protected Species Licences, updated mitigation and compensation proposals, working method statement and wider proposed biodiversity enhancement- 'net gain' features have been submitted to the local planning authority for written approval. The approved scheme shall be implemented in full and hereafter maintained unless otherwise approved in writing by the local planning authority and Natural England as regards the European Protected Species Licence. No external lighting shall illuminate any ecological feature within the immediate or wider site, adjacent highway corridor or any adjacent habitat or boundary feature; and all lighting shall support the Dark Skies principles.

Reason: To ensure that all protected species are considered and habitats enhanced having regard to the Wildlife and Countryside Act 1981 (as amended), the Habitat Regulations 2018 (as amended), Policy LD2 of the Herefordshire Core Strategy, National Planning Policy Framework (2019) and NERC Act 2006.

- 9 Prior to the first occupation of the development hereby approved the driveway and/or vehicular turning area shall be consolidated and surfaced at a gradient not steeper than 1 in 8. Private drainage arrangements must be made to prevent run-off from the driveway discharging onto the highway. Details of the driveway, vehicular turning area and drainage arrangements shall be submitted to and approved in writing by the local planning authority prior to commencement of any works in relation to the driveway/turning area.

Reason: In the interests of highway safety and to conform to the requirements of Policy MT1 of Herefordshire Local Plan – Core Strategy and the National Planning Policy Framework.

- 10 Prior to the first occupation of the dwelling hereby approved an area shall be laid out within the curtilage of the property for the parking and turning of 2 cars which shall be properly consolidated, surfaced and drained in accordance with details to be submitted to and approved in writing by the local planning authority and that area shall not thereafter be used for any other purpose than the parking of vehicles.

Reason: In the interests of highway safety and to ensure the free flow of traffic using the adjoining highway and to conform to the requirements of Policy MT1 of Herefordshire Local Plan – Core Strategy and the National Planning Policy Framework.

- 11 Prior to the first occupation of the development a scheme demonstrating measures for the efficient use of water as per the optional technical standards contained within Policy SD3 of the Herefordshire Local Plan Core Strategy shall be submitted to and approved in writing by the local planning authority and implemented as approved.

Reason: To ensure compliance with Policies SD3 and SD4 of the Hereford Local Plan – Core Strategy and the National Planning Policy Framework.

Informative:

- 1 The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against planning policy and any other material considerations. Negotiations in respect of matters of concern with the application (as originally submitted) have resulted in amendments to the proposal. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.

Planning Services
PO Box 4
Hereford
HR4 0XH



SIMON WITHERS
DEVELOPMENT MANAGER

Date: 21 October 2019

YOUR ATTENTION IS DRAWN TO THE FOLLOWING NOTES

Notes

This permission refers only to that required under the Town and Country Planning Acts and does not include any consent or approval under any other enactment, byelaw, order or regulation. In particular consent may be required under the Building Regulations.

The applicant is advised that additional Council Tax payments may be sought in the event that the Valuation Office, who routinely monitor decision notices, consider any part of the development hereby permitted to be self-contained. This assessment is particularly likely to be the case in respect of flats, basement conversions, granny annexes, studio rooms and log cabins and/or where the additional accommodation contains its own kitchen, bathroom and bedroom. Further information can be found on the Council's website at <https://www.herefordshire.gov.uk/search?q=annexes>

Appeals to the Secretary of State

- If you are aggrieved by the decision of your local planning authority to refuse permission for the proposed development or to grant it subject to conditions, then you can appeal to the Secretary of State under Section 78 of the Town and Country Planning Act 1990.
- If you want to appeal, then you must do so within 6 months of the date of this notice, or 12 weeks if the scheme is for that of "household" development using a form which you can get from The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN.
- The Secretary of State can allow a longer period for giving notice of an appeal, but he will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.
- The Secretary of State need not consider an appeal if it seems to him that the local planning authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.
- In practice, the Secretary of State does not refuse to consider appeals solely because the local planning authority based their decision on a direction given by him.

Right to Challenge the Decision of the High Court

Currently there are no third party rights of appeal through the planning system against a decision of a Local Planning Authority. Therefore, if you have concerns about a planning application and permission is granted, you cannot appeal that decision. Any challenge under current legislation would have to be made outside the planning system through a process called Judicial Review (JR).

The decision may be challenged by making an application for judicial review to the High Court. The time limits for bringing such challenges are very strict, and applications need to be made as soon as possible after the issue of the decision notice. So, if you think you may have grounds to challenge a decision by Judicial Review you are advised to seek professional advice as soon as possible.

These notes are provided for guidance only and apply to challenges under the legislation specified. If you require further advice on making an application for Judicial review, you should consult a solicitor or other advisor or contact the Crown Office at the Royal Courts of Justice, Queens Bench Division, Strand, London, WC2 2LL (0207 947 6000). For further information on judicial review please go to <http://www.justice.gov.uk>

The Council has taken into account environmental information when making this decision. The decision is final unless it is successfully challenged in the Courts. The Council cannot amend or interpret the decision. It may be redetermined by the Council only if the decision is quashed by the Courts. However, if it is redetermined, it does not necessarily follow that the original decision will be reversed.

Purchase Notices

- If either the local planning authority or the Secretary of State refuses permission to develop land or grants it subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use in its existing state nor render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted.
- In these circumstances, the owner may serve a purchase notice on the Council in whose area the land is situated. This notice will require the Council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990.

LISTED BUILDING CONSENT

Applicant:

Mr Ben Morgan
The Penoyre Trust
Hardwicke Court
Hay-On-Wye
Hereford
HR35HA

Agent:

Mr Evans
MICA Architects
123 Camden High St
London
NW1 7JR

Date of Application: 20 March 2019

Application No:
190887

Grid Ref:324203:243429

Proposed development:

SITE: The Moor Tower, Hay-on-Wye, Hereford, HR3 5EZ
DESCRIPTION: Proposed internal and external alterations, to include removal and replacement of internal fabric of the building to create a self- contained unit of accommodation for holiday let. New access track and parking area.

THE COUNTY OF HEREFORDSHIRE DISTRICT COUNCIL hereby gives notice in pursuance of the provisions of the above Act that LISTED BUILDING CONSENT has been GRANTED for the execution of the works referred to above in accordance with the application and plans submitted to the authority subject to the following conditions:

- 1 The works hereby permitted shall be begun before the expiration of three years from the date of this consent

Reason: Required to be imposed by Section 18 (1) of the Planning (Listed Building & Conservation Areas) Act 1990.
- 2 The development hereby approved shall be carried out strictly in accordance with the approved plans (drawing nos. 19001 PL1, 19006 PL1, 19015 PL2, 19017 PL2, 19025 PL2, 19026 PL1, 19030 PL2, 19031 PL2, 190035 PL2 and 7000 PL2 – Design & Access Statement & Heritage Statement) and the schedule of materials indicated thereon.

Reason: To ensure adherence to the approved plans and to protect the general character and amenities of the area in accordance with the requirements of Policy SD1 of the Herefordshire Local Plan – Core Strategy and the National Planning Policy Framework.
- 3 No works in relation to any of the features specified below shall commence until details and/or a specification and/or drawings at appropriate scales are submitted to and approved in writing by the Local Planning Authority. The work shall be carried out in full in accordance with such approved details;

- Proposed new ground level; specification and section detail at 1:5;
- External lighting; design details;

Reason: To ensure that special regard is paid to protecting the special architectural and historic interest and integrity of the building in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy, the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 4 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing original work adjacent in respect of methods, detailed execution and finished appearance unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure that special regard is paid to protecting the special architectural and historic interest and integrity of the building under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework.

- 5 Details of the roof construction including details of junctions with stonework and materials to be used, at a scale of 1:5, shall be submitted to and approved in writing by the Local Planning Authority before the commencement of any roofing works. The development shall be carried out in complete accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the building in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy , the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 6 New stonework shall match the existing stonework adjacent in respect of dimensions, colour, texture, face bond, and pointing unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure that special regard is paid to protecting the special architectural and historic interest and integrity of the building under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework

- 7 No pointing or repointing of existing stonework shall commence until a drawing identifying the affected areas, details of the method of removing the existing mortar and details and samples of the new mortar mix and joint finish have been submitted to and inspected and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the building, in accordance with Policy LD4 of the Herefordshire Local Plan - Core Strategy, the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 8 Under no circumstances whatsoever are powered tools (for example, air-driven tools; electric angle grinders and so forth) to be used to cut back masonry joints prior to repointing.

Reason: To ensure that special regard is paid to protecting the special architectural and historic interest and integrity of the building under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework

- 9 Before work begins to provide the altered window opening, precise details of the materials and form of the heads and cills of the new window opening at a scale of 1:5, should be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the listed building, in accordance with Policies within the Herefordshire Local Plan - Core Strategy, the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 10 No joinery works shall commence until precise details of all external windows and doors and any other external joinery have been submitted to and approved in writing by the Local Planning Authority. These shall include:

- 1:5 details and sections, and 1:20 elevations of each joinery item cross referenced to the details and indexed on elevations on the approved drawings.
- Method & type of glazing.
- Colour Scheme/Surface Finish

The development shall be carried out in accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the listed building, in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy, the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 11 A specification and details at 1:5 shall be submitted to and approved in writing by the Local Planning Authority before commencement of relevant works. The development shall be carried out in accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the listed building, in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy, the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 12 Before any relevant section of work begins, a method statement showing how cleaning will conform to BS 8221-1:2012 (Code of practice for cleaning and surface repair of buildings). Cleaning of natural stone, brick, terracotta and concrete, including scale drawings clearly marking the areas to be cleaned, must be agreed and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure that special regard is paid to protecting the special architectural and historic interest and integrity of the building under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework.

- 13 All routes for mechanical and electrical services and drainage shall be arranged to be visually unobtrusive and cause the minimum disturbance to historic fabric. Details shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the relevant sections of works. These shall include types, sizes and positions of soil and vent pipes, waste pipes, rainwater pipes, boiler flues and ventilation terminals, meter boxes, external lighting and cabling etc. The development shall be carried out in accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the listed building, in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy, the National Planning Policy Framework and under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 14 All new external work and finishes, and work of making good shall match existing original work adjacent, in respect of materials used, detailed execution and finished appearance, except where indicated otherwise on the drawings hereby approved.

Reason: To ensure the development is in keeping with the existing building and sympathetic to the visual amenity of the Conservation Area under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework.

- 15 Details including a specification and scale drawings of new sound and heat insulation are to be submitted to and approved in writing prior to the commencement of the relevant section of works. The development shall be carried out in accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the listed building, in accordance with policy LD4 of the Herefordshire Local Plan - Core Strategy and the National Planning Policy Framework

Planning Services
PO Box 4
Hereford
HR4 0XH



SIMON WITHERS
DEVELOPMENT MANAGER

Date: 21 October 2019

YOUR ATTENTION IS DRAWN TO THE FOLLOWING NOTES

Please note: This consent refers only to that required under the Planning (Listed Buildings and Conservation Areas) Act 1990 and does not include any consent or approval under any other enactment, byelaw, order or regulation.

NOTES

Appeals to the Secretary of State

- If you are aggrieved by the decision of the local planning authority to refuse Listed Building Consent or Conservation Area Consent for the proposed works, or to grant consent subject to conditions, you may appeal to the Secretary of State in accordance with Sections 20 and 21 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- If you want to appeal, then you must do so within 6 months of the date of this notice, using a form which you can get from The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN.
- The Secretary of State can allow a longer period for giving notice of an appeal, but he will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.

Right to Challenge the Decision of the High Court

Currently there are no third party rights of appeal through the planning system against a decision of a Local Planning Authority. Therefore, if you have concerns about a planning application and permission is granted, you cannot appeal that decision. Any challenge under current legislation would have to be made outside the planning system through a process called Judicial Review (JR).

The decision may be challenged by making an application for judicial review to the High Court. The time limits for bringing such challenges are very strict, and applications need to be made as soon as possible after the issue of the decision notice. So, if you think you may have grounds to challenge a decision by Judicial Review you are advised to seek professional advice as soon as possible.

These notes are provided for guidance only and apply to challenges under the legislation specified. If you require further advice on making an application for Judicial review, you should consult a solicitor or other advisor or contact the Crown Office at the Royal Courts of Justice, Queens Bench Division, Strand, London, WC2 2LL (0207 947 6000). For further information on judicial review please go to <http://www.justice.gov.uk>

The Council has taken into account environmental information when making this decision. The decision is final unless it is successfully challenged in the Courts. The Council cannot amend or interpret the decision. It may be redetermined by the Council only if the decision is quashed by the Courts. However, if it is redetermined, it does not necessarily follow that the original decision will be reversed.

Purchase Notices

- If Listed Building Consent or Conservation Area Consent is refused, or granted subject to conditions, whether by the local planning authority or by the Secretary of State, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any works which have been or would be permitted, he may serve on the Council a purchase notice requiring that Council to purchase his interest in the land in accordance with the provisions of Section 32 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- In certain circumstances a claim may be made against the local planning authority for compensation where permission is refused or granted subject to conditions by the Secretary of State on appeal or on a reference of the application to him. The circumstances in which such compensation is payable are set out in Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

