

## **Amended STATEMENT**

### **SPRING COTTAGE DINEDOR**

#### **Extension to existing kitchen and bathroom and additional first floor x2bedrooms and bathroom.**

The proposal is to demolish the existing dilapidated single-story kitchen and bathroom and replace this with a two-story extension to include a kitchen, family room and downstairs WC on the ground floor, then a master bedroom, single bedroom and family bathroom on the first floor.

The design is that of a dormer style to keep the height of the roof eaves in line with that of the host dwelling and is designed to sympathetically compliment and blend in to the existing dwelling, whilst creating a modern glass porch to create a divide between old and new.

The dwelling itself is in a bad state of repair almost derelict meaning its potentially needing knocking down thus losing the history completely. Its needing to be completely renovated to allow it to become used as it is intended as a family home and to remain standing as a piece of history and heritage however its currently tiny and therefore not fit for modern living purposes. Each wall needs to be removed, supported and rebuilt and all timbers and windows need to be replaced with new. The only perk to the size being it's not as mammoth a task as would be a larger house in this state.

The house was purchased by us in December 2019 and it was hoped the original extension designs submitted would be accepted in order to provide a more comfortable home in which to raise 3 young children. We are struggling in many ways here currently but we hold out hope that these amended plans be accepted and we can look forward to a more comfortable living.

The character and history of the house is what drew us in and we visioned bringing the house to its former glory and some. So our plans and intentions have always only ever been to highlight its beauty and preserve its character.

The cottage is extremely small with low ceilings. The kitchen and bathroom extension are later additions to the cottage although being over 60 years old. It clearly was not built with the host dwelling in mind or with long lasting sustainability. It is an eyesore, being of single skin brick, not in keeping with the house or other styles of house in the area, it shows no respect for the character of the house and has no cosmetic appeal.

Structurally it is not sound and needs to be removed and rebuilt.

## Amended design

### Scale and mass

The amended design has reduced the size of the original proposal by 50 square meters. This has dramatically reduced the useable 1<sup>st</sup> floor space in the extension due to wishing to keep roof eaves inline, and we believe the impact on the original dwelling has been again significantly reduced.

Although the idea of a divide was suggested allowing for a larger extension, the landscape and setting does not allow for the extension to be located anywhere other than where it is so a complete separation would be impossible to achieve whilst also being impractical for family living. The only other option suggested would be to knock the old house down completely and rebuild in another area, thus losing that part of our local history completely. And being something, we, would never wish to do.

### Dividing corner porch

We have designed a glass corner entrance porch which will house the main front door.

The porch will open into the existing dwelling and the new kitchen extension and create an open feel space. The glass allowing a warm welcoming insight into the hub of the home whilst being a modern contrast material to create a visual divide between old and new.

Linking the two parts of the house both visually and practically and yet giving the definition between old and new parts of the house thus separating the two somewhat. The vast glass will open the original dwelling and bring this part of the house to the forefront of the design. It will give a clear definition between the two eras and highlight how two can come together to create a beautiful home with a complete respect for its original look and design.

## **SITE LOCATION**

The house sits off road completely, down a small private driveway. Behind the house is a field and in front is our large private garden which then leads to a field. The house cannot be seen from any public highway or footpath even during winter when the trees are bare.

The land is sloping, and the house sits at a lower level. This is highlighted also on the architects drawings.



The house sits in almost an acre of wrap around garden, so is incredibly secluded and private. The extension will have no visual impact on neighbours or public views. The land is hilly which although causes issues with waterflow, helps to hide the dwelling away from view.

The level of the existing land around the house is above the height of ground floor windows, thus allowing the house to sit hidden within its land.



## **LOCAL SETTING**

The local area of Dinedor is just on the outskirts of Hereford city. It's a small rural village with a church and village hall. There is a point of local interest being the old camp and woodlands on the hill.

The village is made up of larger than average houses with large gardens and or land. There are a wide variety of builds in the area. Different styles and designs, old painted houses, stone houses, brick, render, timber clad. This gives Dinedor a different feel to other villages and areas. No two houses, except the new builds, are of the same style. Showing a versatile and expressive community.



This photograph is the view from the public footpath half way up to Dinedor camp. The house is behind the hedge in the centre of this photograph (unseen). The field behind the hedge is the field behind our house, the beautiful rolling countryside of Herefordshire. Ensuring our home is kept private and hidden away from the world.

## **THE EXISTING DWELLING**

The existing dwelling is over 300 years old but is not listed. It is timber framed single skin brick and render. Parts of the house have been repaired over the years, but all repairs being temporary fixes.

By any standards, the house is tiny. The bedrooms are in the eaves and therefore there is little upstairs space. The current and only bathroom and Toilet is in the newer addition which also houses the kitchen.

The timber is all mostly original minus repairs and is rotten through. It's been painted over previously to try to hide damage and to slow further issues, but it is failing and allowing more water into the property.

The windows are single glazed (all damaged beyond repair) wooden framed (rotten and needing replacing)

A stone plinth runs around the dwelling at a height of between 0.5 and 1.5 meters The stonework has broken away in places allowing damp in the property and this needs repair and repointing.

The kitchen and bathroom need to be completely removed and rebuilt due to no damp course, structural issues, flat roof, no cavity wall insulation and single skin brickwork. The flat roof being over 50 years old has been in a desperate state for some time. The timbers are totally wet and rotten, and this then causes severe damp and mould issues internally.

The chimney needs supporting and re pointing, thus the new extension giving support to this.

The porch is falling down and needs rebuilding, it holds the only door to the house, and this is therefore another big issue.

A lot of these issues we only discovered after moving in and they have only got worse,



Damage to existing dwelling.



The existing dwelling is in a bad state of repair. As we have previously explained all repairs will begin once a suitable living area is created in the extension to allow for the large renovations to begin. The properties history and character has been lost over years of damage covered over and not repaired.

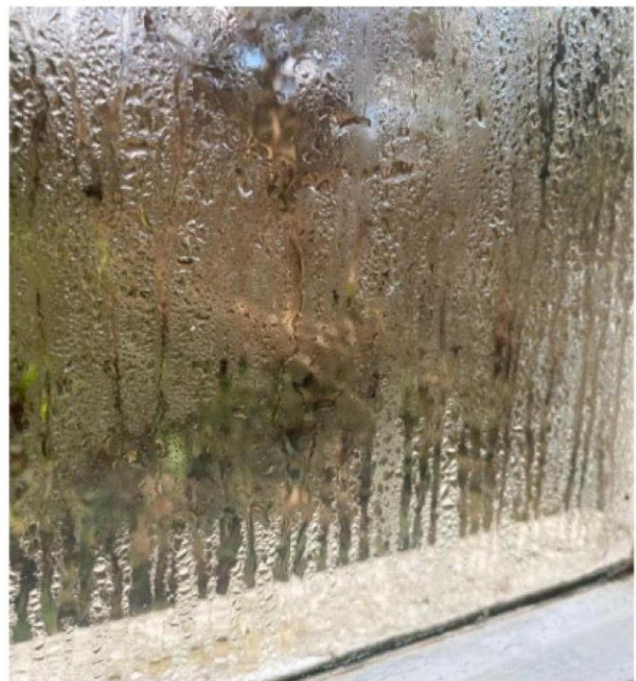
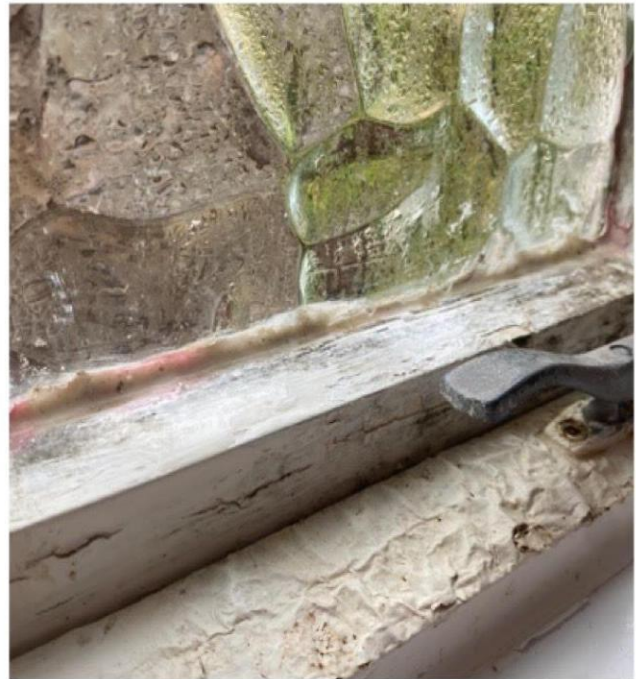


This photograph shows the gable end.

The wood is rotten through and bricks are coming loose and moving away.

The plans being to source and use the same materials in the extension and throughout the house renovation.





---

Internal damage/damp and mould in existing kitchen and bathroom





### **DAMAGED WINDOWS**

The removal of some of the un-characterful later additions will only improve and enhance the house and setting, to replace with adequate space for living using much more sympathetic materials and in a design which highlights the original character.

Over the years the history is being lost and this is speeding up fast now with the wet and cold getting into the cracks and damage. We cant replace and repair this until we have build the extension as space and planned work is an issue whilst we have to live on site.



## **WATERWAY AND DRAINAGE**

The land slopes towards the house and the water flows directly towards the property. Water sits pooled around the house causing damp issues and mould inside. We have dug back some of the land already and started to channel this, but we plan to solve this problem with the use of drainage systems along the extension as explained on our waterway system diagram.

The roof is our main issue with damp however years of water damage and water build-up around the perimeter of the dwelling has led to serious issues. This additional part of the house needs totally knocking down and rebuilding.



The high chimney seen here needs supporting, and the extension plans to do just that. You can clearly see the flat roof of the current kitchen and bathroom and how the water sits gathered on the top. This water over the years has made its way through and has almost destroyed the timbers. The damage inside was covered up with paint and patchwork but soon became clear.

## **PLANNED RESTORATION WORKS**

To replace all timber on the original dwelling with oak. To use same oak cosmetically throughout the extension to look as supporting beams.

The replace all windows and use new PVC wood effect cottage style windows throughout to match

To use local weathered stone to run along the whole dwelling to match. Taking the stone up higher around the side elevation to incorporate the existing stone wall to this side of the house (visible from above the current kitchen and bathroom) repairing brickwork and render.

To demolish the inhabitable kitchen and bathroom to create extension.

Create a modern glass porch to separate whilst linking the old host dwelling to the extension. A clear definition. The materials beyond the porch to the extension will complement the original feel and character however a clear distinction can be seen and made. This ensuring the original cottage is not overpowered by the scale of the extension (although the scale has been amended)

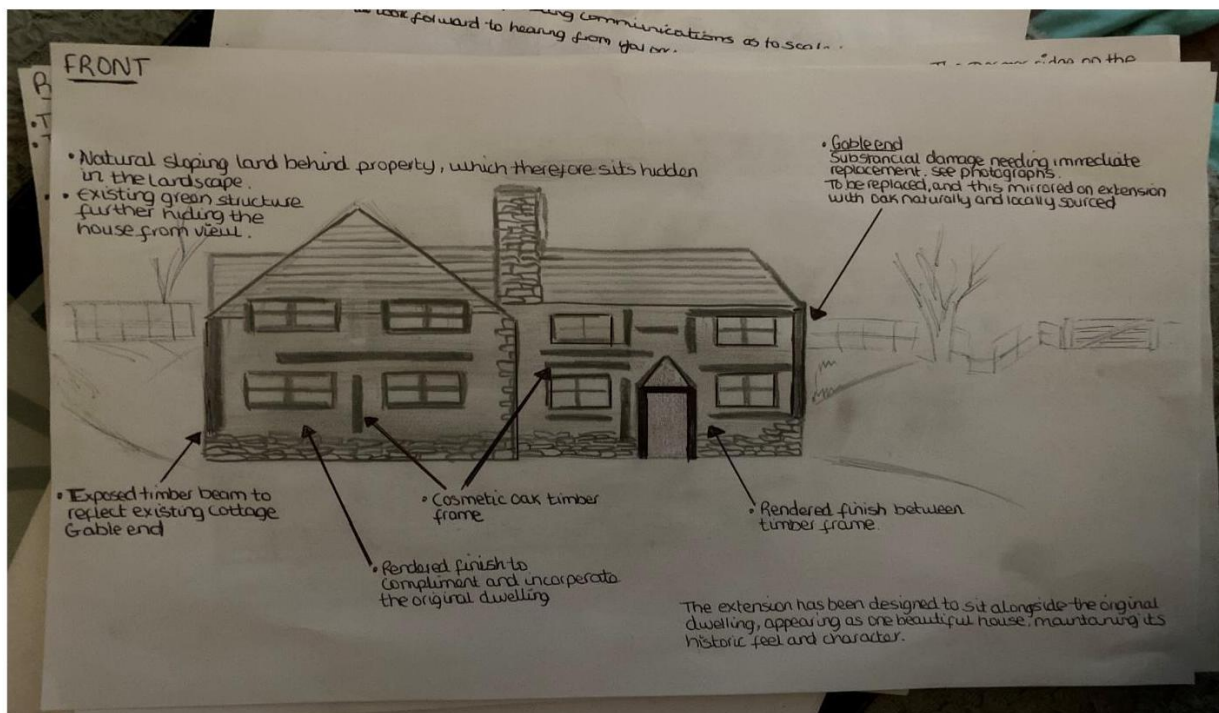
## PROPOSED EXTENSION DESIGN AND MATERIALS

To sit in the landscape conspicuously, alongside the original dwelling. To accentuate the existing character and history of the cottage with lower roof heights incorporating a dormer style and through use of materials and mirroring. We have included some personal sketches to better explain our design ideas.

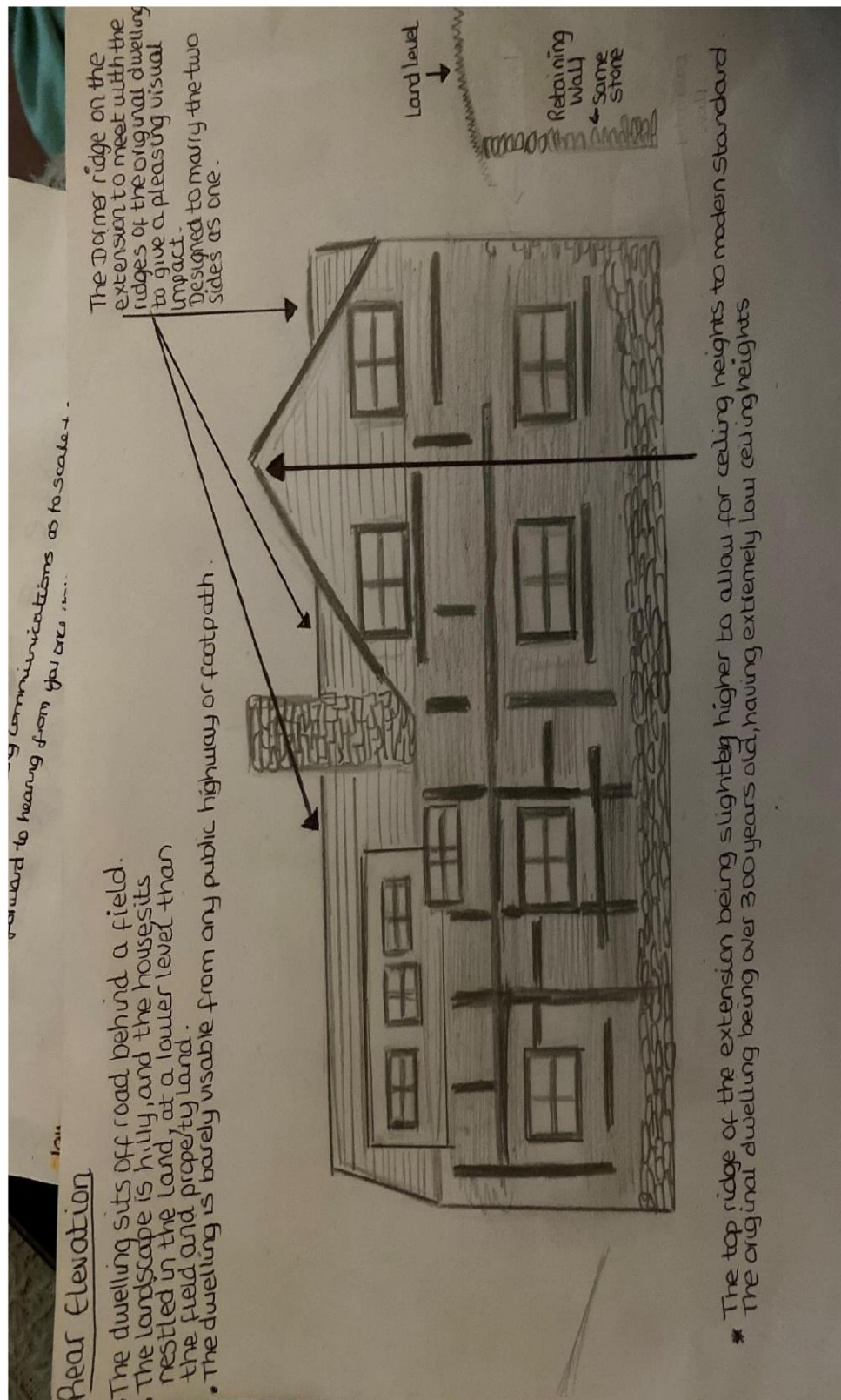
The dormer design, landscape, setting and use of materials means the design is visually pleasing and is sympathetic to the original character and heritage. The mass and scale isn't overbearing and we feel the design accentuates the host dwelling, bringing that to the forefront and highlighting its beautiful timber and stone design. with the roof ridge meeting the new part drawing the eye to the feeling of the original being larger than it appeared before.

The house becomes a -normal- sized 3 bedroom home by modern standards. The house remains inconspicuous as we planned and wished for and the local setting is protected as well as the heritage of the site. We are passionate about these designs and plans.

There will be a glass porch as an addition to the original dwelling, linking on to the extension and providing a visual divide between old and new, drawing the eye into the open plan dwelling with the use of extensive glass allowing this part of the building to remain at the forefront.

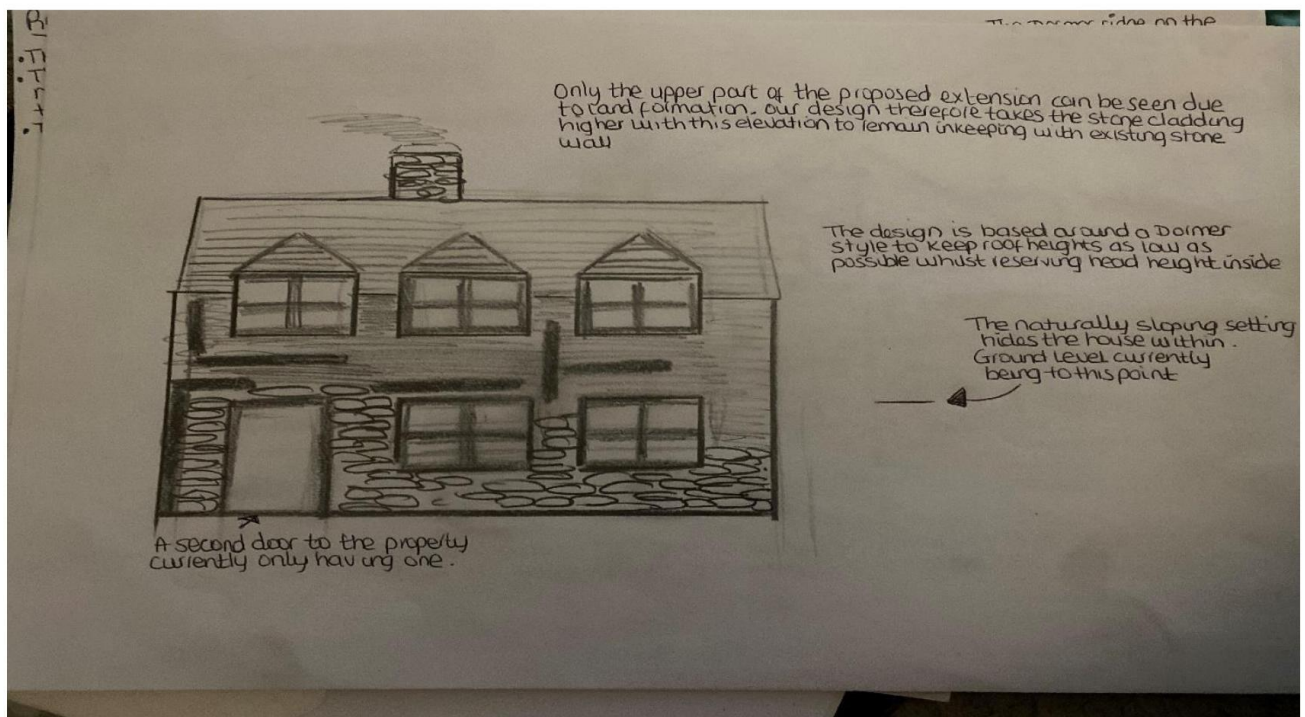






The house can not be seen from any highway or public footpath from this viewpoint

## SIDE ELEVATION

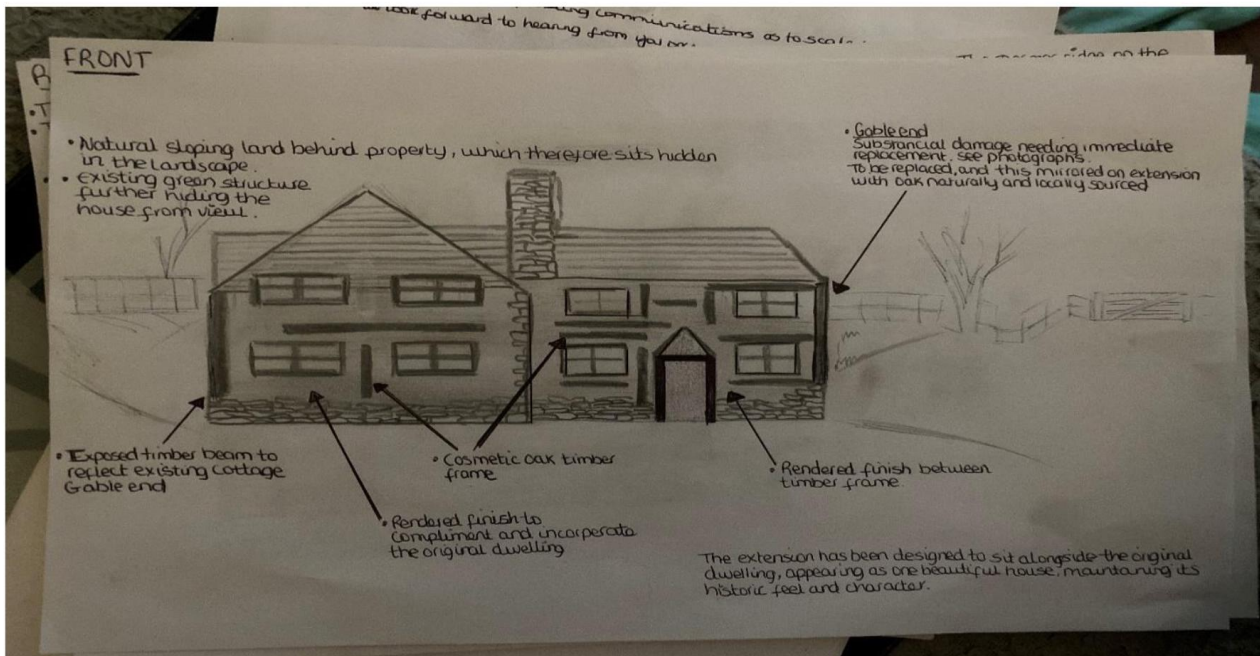


The proposed extension sits with the back of the property, coming out 2 meters and taking it 3 meters longer the landscape allowing the house to remain nestled in the setting and to ensure it does not overpower the original.

Existing kitchen and bathroom needs knocking down and rebuilding immediately due to poor failing materials, severe structural damage, damp and mould. Its also ugly and in no way compliments the dwelling and the area.



## FRONT ELEVATION



We truly feel the proposed extension improves the look and feel of the mismatched house, the kitchen and bathroom being a quick and cheaply built addition many years ago. It does not look at all aesthetically pleasing and doesn't sit well with the setting. The materials used are cheap and completely different to the original dwelling. The extension accentuates the old character and brings it to the forefront enhancing its beauty.

We plan to raise the height of the original dwelling when we come to replace the damaged roof, to allow for the head space in the bedrooms and to match the extension.



## **PERSONAL STATEMENT**

We have invested a lot of thought, time, discussion, money and love into these plans and we believe them to look beautiful. We are passionate about our family home and bought this as a forever home to raise our young family. We had competition during the buying process with local investors wishing to build a few houses here on this site and fortunately the previous owners cared for more than just the money!

We have chosen not to apply for preplanning advice, as we really cannot do much else other than lose more space and then have a house and floor plan not fit for purpose. Leaving us in a dire situation as a family in today's climate facing tough decisions and risking the house and all its history if we had to sell. We have tried to provide as much evidence of how seriously we, as two ordinary parents have taken the plans and designs. We are a passionate family born and bred in Hereford and wanting to put down roots here for our children's futures. We listened to concerns with regards to the size of our previous application and have dramatically reduced this now with the hope we can receive the permission and begin our extension asap.

We have spoken with several neighbours who were as disappointed as we were at the fact we were refused permissions last time and the prospect of what could be again. We have remained transparent and as before, willing and keen to work with our case officer to allow this extension to go ahead.

This is becoming increasingly difficult as the time goes on for all the reasons covered and the current pandemic putting huge pressures and challenges on us all. We plan to build most of the extension ourselves and therefore time is key. We must have a dry, warm, watertight family space in time for next winter as we worry how much longer repairs can hold out. covid19 has had a knock on work and finances and we don't have spare money to further fund plans and designs, we are desperate for our view to be understood and appreciated by Herefordshire council.

The damp and mould is obviously a serious issue as well as the amount of energy its taking to try to heat the house, with what's being lost but ultimately we need a clean, dry and ecologically more friendly home, so we ask you to consider our proposal on all levels and we hope we will with the amended plans be granted the permissions. Many thanks

Liam and Hayley Richards

Spring cottage

