

# GLEVUM

Conservatories

the class behind glass

Proposed : Conservatory  
For : Mr & Mrs Warren  
At : 12 Sandringham Close  
Ross on Wye  
Herefordshire  
HR9 7XN  
01989 563471

Surveyor : PLEASE CONFIRM THAT **ALL** OF THE DETAILS ON THIS DOCUMENT ARE CORRECT

Date :	Revision Detail :	By :	Approved By :

Drawing No.	2012627	Contracts Manager :	Graham Rose	Date :	06/11/2012
-------------	---------	---------------------	-------------	--------	------------

There are four stage payment that you are required to make during the installation of your conservatory. The first 10% is the deposit (this will have already been paid to our Designer), the second 40% should be paid to the builder on completion of the base work, (unless you have provided your own base) The third, also 40%, should be paid to the installers when the frames are installed and glazed and the final payment of 10% will be collected by the final contractor, i.e. the electrician, plumber or floor tiler.

Note:

If you are purchasing your new conservatory on finance please refer to the terms & conditions relating to payment on your Purchase Agreement.

The Companies Contract Manager has discussed the above survey with me and I agree to the designs and other details finalised during his visit.

Customer Signature.		Date :	
---------------------	--	--------	--

Notes for deferred installation :

Approval Required ?		Planning Enquiry ? <input type="checkbox"/>		Please tick where appropriate	
Planning permission	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Restrictive covenants	Yes <input type="checkbox"/> No <input type="checkbox"/>		
Building regulation	Yes <input type="checkbox"/> No <input type="checkbox"/>	Housing association	Yes <input type="checkbox"/> No <input type="checkbox"/>		
Listed building consent	Yes <input type="checkbox"/> No <input type="checkbox"/>	Builders consent	Yes <input type="checkbox"/> No <input type="checkbox"/>		
Conservation area	Yes <input type="checkbox"/> No <input type="checkbox"/>	Landlords consent	Yes <input type="checkbox"/> No <input type="checkbox"/>		
Neighbours consent	Yes <input type="checkbox"/> No <input type="checkbox"/>	3rd party wall act	Yes <input type="checkbox"/> No <input type="checkbox"/>		

## EXTRA DEPTH FOUNDATIONS

If Glevum Conservatories have been contracted to build a base as part of the installation of your conservatory, it will be necessary for us to excavate a trench and lay footings for the brickwork. As you will appreciate it is impossible to know what will be underground until we start to dig. Extra depth foundations may be required due to the position of trees, existing manholes or "made-up" ground within the proximity of your new conservatory. This will inevitably lead to an additional cost for the building work to cover the extra concrete, soil removal and labour charges. However, please note this additional work will be carried out at cost, and will be charged to yourselves by the linear metre and at 500mm depth increments.

Our standard depth foundation is 1000mm deep from ground level, and approximately 450mm wide. If during the excavation we find we need to exceed the 1000mm depth you will be informed immediately and a variation to contract ( VOC ) will need to be signed which will be your authority for us to continue the installation at the agreed cost.

## Electrical Regulations

As from January 2005 Glevum Conservatories are required by law to test the installation of your existing wiring. If it does not comply with IEE (Institute of Electrical Engineers) 17th Edition regulations we will be unable to make the final connections to your electrical system until all necessary remedial work has been completed to meet these regulations. Our electrician will be able to quote for any additional work that may be required.

Customer Signature.		Date :	
---------------------	--	--------	--





# GLEVUM

Conservatories

the class behind glass

Glevum installers to create new opening and fit 15 pane softwood door with Minster glass. Brass furniture. 65mm concrete lintel required, min. 150mm end bearing. Softwood threshold board. Subject to inspection by building control

Property boundary

Study

Lounge

Dining Room

265 box gutter fitted beneath soffit. 30 timber packer to give clearance. BGAA002R, BGAA003L

Relocate radiator

Installers to remove window and brickwork below(1.35m). Install French door as detailed separately. White Polyboard threshold board

Outside face of base to start 100mm from corner of property

295 box gutter and 30 packer

Down pipe to existing gully

Extend CH drain offs

Builders to remove tree

Existing RW gully to be sealed. Existing gutter to remain in place but discharge into box gutter

3605

New radiator

Builder to remove fence panels to build wall. Fix remaining panel back to completed wall. High conservatory wall will take the place of existing fence

Pump out pond and back fill with compacted hardcore. Extend stone retaining wall across to meet conservatory (approx. 2sq.m), note new wall to be built in stone re-used from site. If there isn't enough stone build small return in brick. Back fill with compacted hard core and re-lay existing slabs to extend patio area

Existing wall

New wall

Pond

2950

All Dimensions are to the internal ring beam i.e. the internal face of the window frames.

Installers to chase in vertical DPC.

Floor and cavity wall insulation required.

Rosewood outside, white inside. Clear glass to sides.

Ultraframe Classic roof with Activ Blue climate guard glass. 25 degree pitch.

White window handles, gold door handles.

White Polyboard internal cill boards.

600 dwarf wall and high wall to be brick outside, closest available match to existing including below DPC (County BS to identify). Block and plaster skim internally including house wall (6.2m).

Chamfered - round softwood skirting.

All to accept decoration by others.

Floor level to existing DPC height.

Lift all slabs within perimeter and re-use to new patio area.

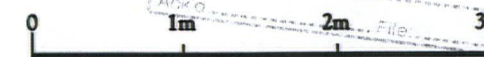
1.5m deep foundations (from patio level) due to tree and made up ground.

Extra height on base 1.5m.

Glevum plumber to relocate existing radiator. Fit new radiator in conservatory and move drain offs to outside conservatory.

FHB042R remote fan with light. 2 double sockets.

Ceramic floor tiles, Lotus Palio TLP200P. Laid diagonally. Tiler to fit skirting.



Customer Signature :

Print to A3

Drawing Number :

2012627

Property Elevation :

Roof Plan

Unit Elevation :

Scale : 1 : 50

Date : 06/11/2012

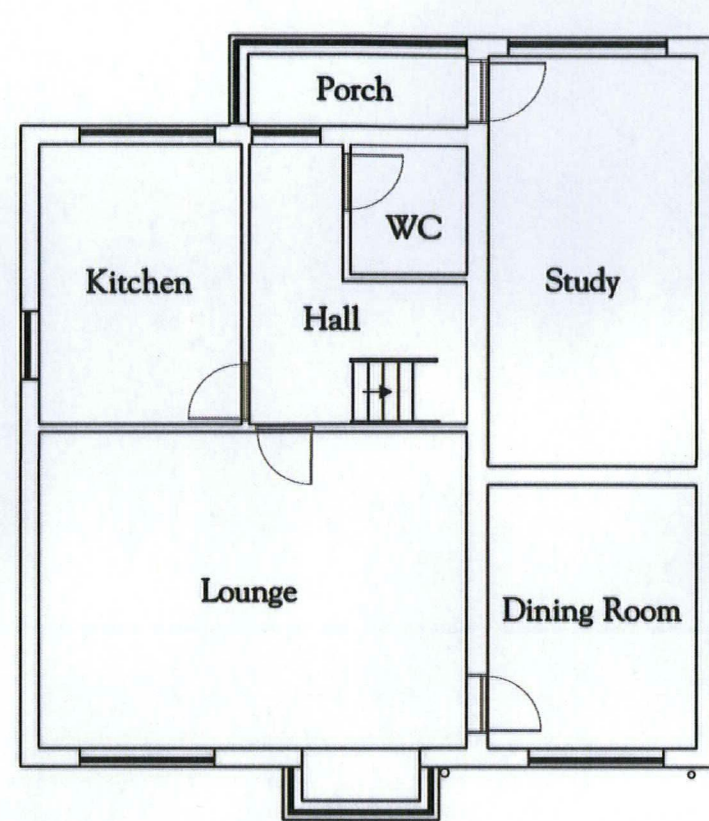
Drawn : Graham Rose

Contract Manager : Graham Rose

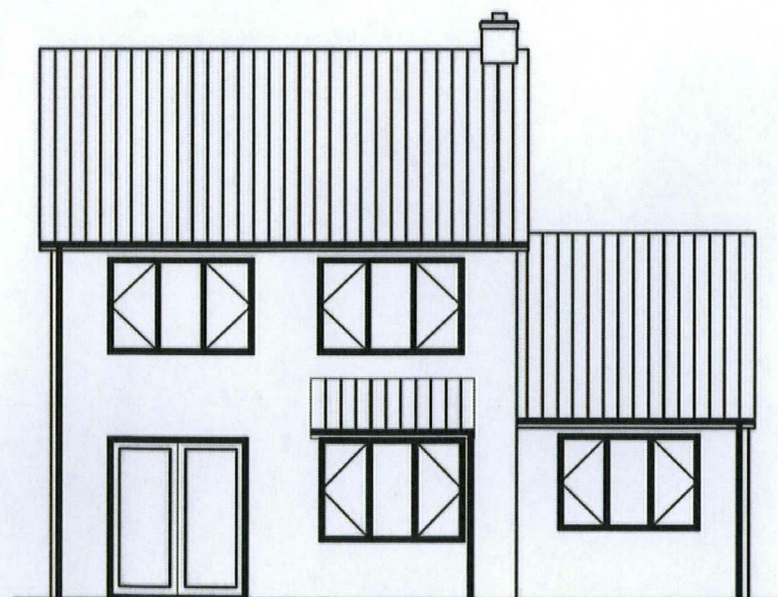


# GLEVUM

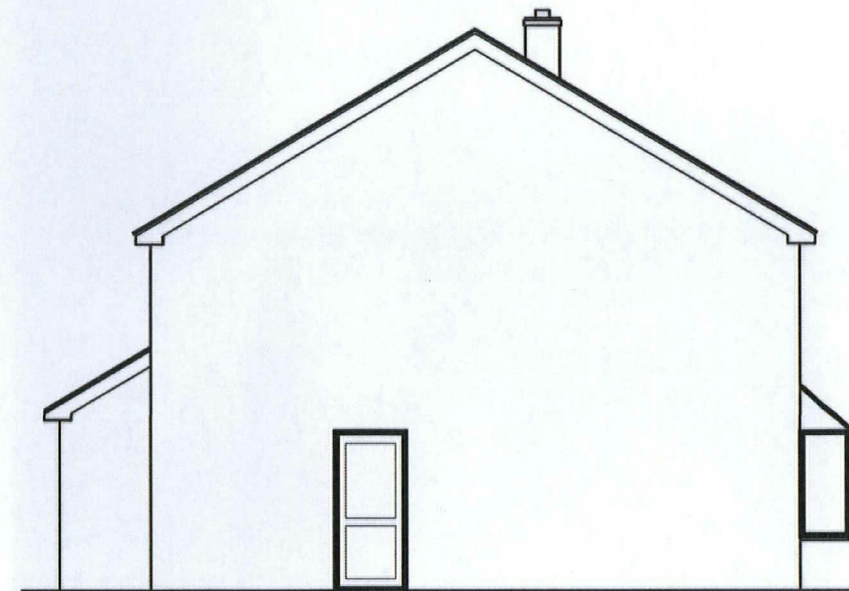
Conservatories  
the class behind glass



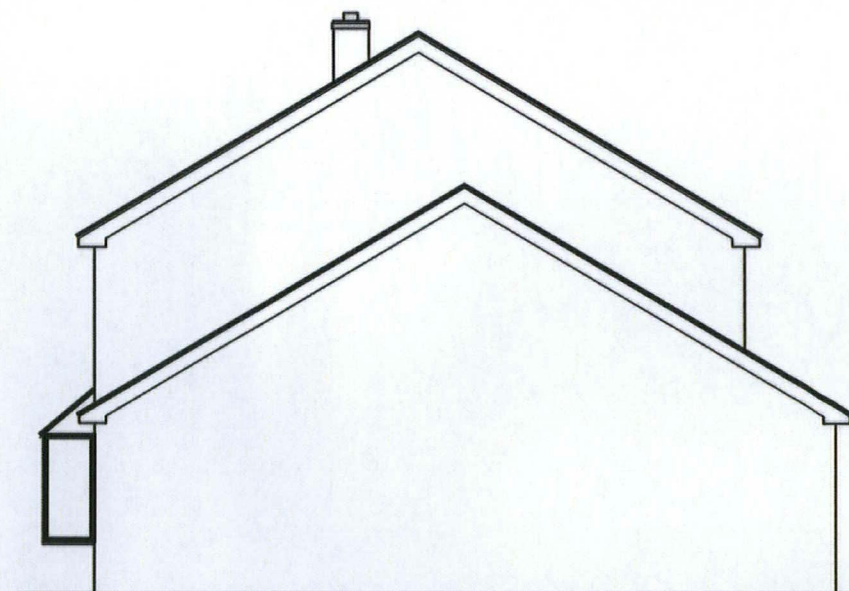
Ground Floor Plan



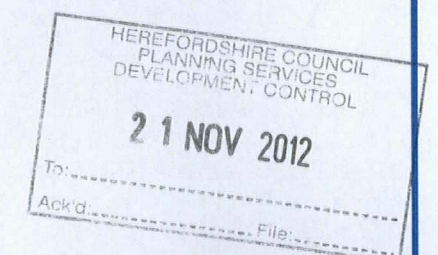
Rear



Side



Side



Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation : Existing		Scale : 1 : 50	Drawn : Graham Rose Contract Manager : Graham Rose
					Date : 06/11/2012	





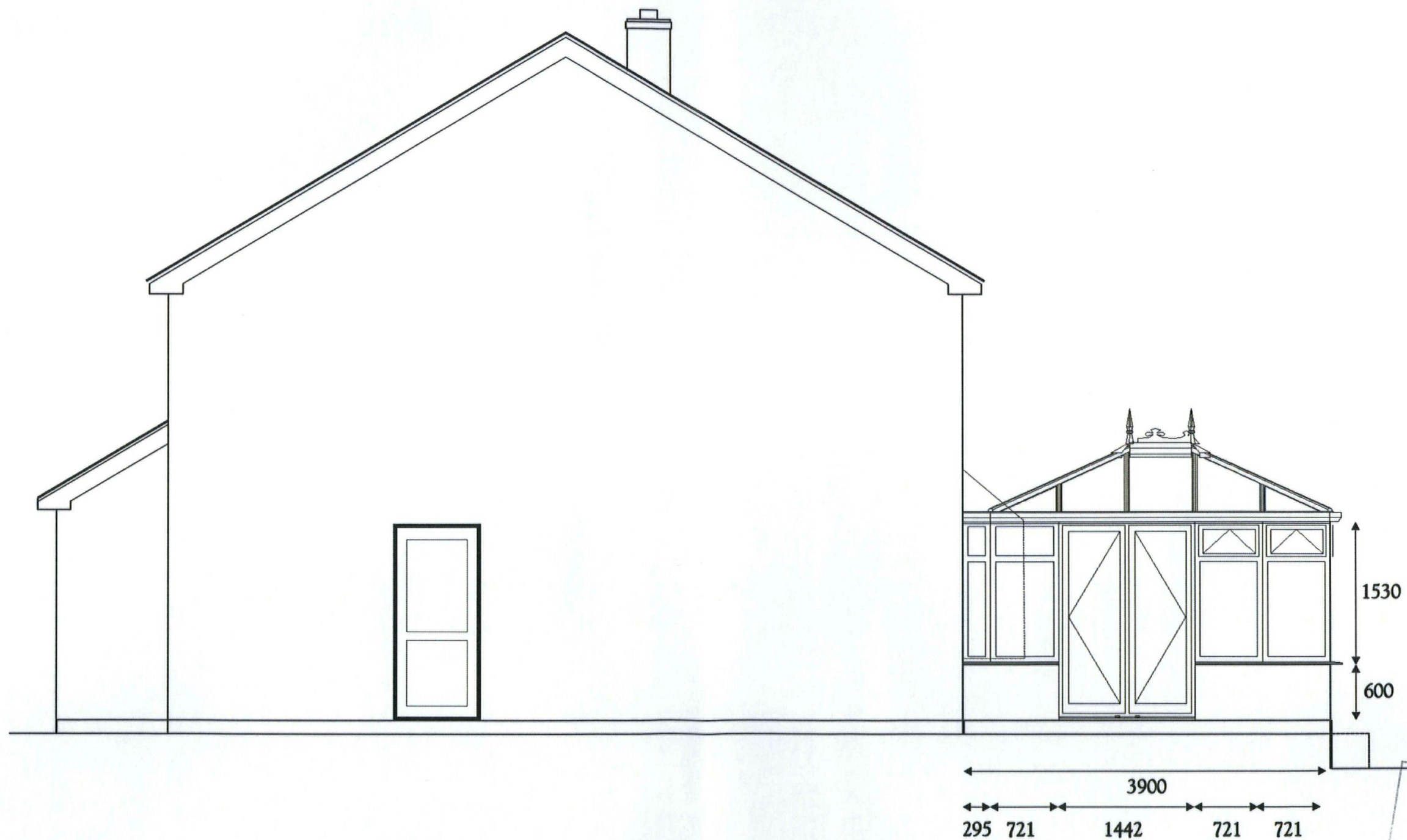
HEREFORDSHIRE COUNCIL  
PLANNING SERVICES  
DEVELOPMENT CONTROL  
21 NOV 2012  
To: \_\_\_\_\_  
Ack'd: \_\_\_\_\_

Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation :	Unit Elevation :	Scale : 1 : 50 Date : 06/11/2012	Drawn : Graham Rose Contract Manager : Graham Rose
----------------------	-------------	-----------------------------	----------------------	------------------	--	--



GLEVUM

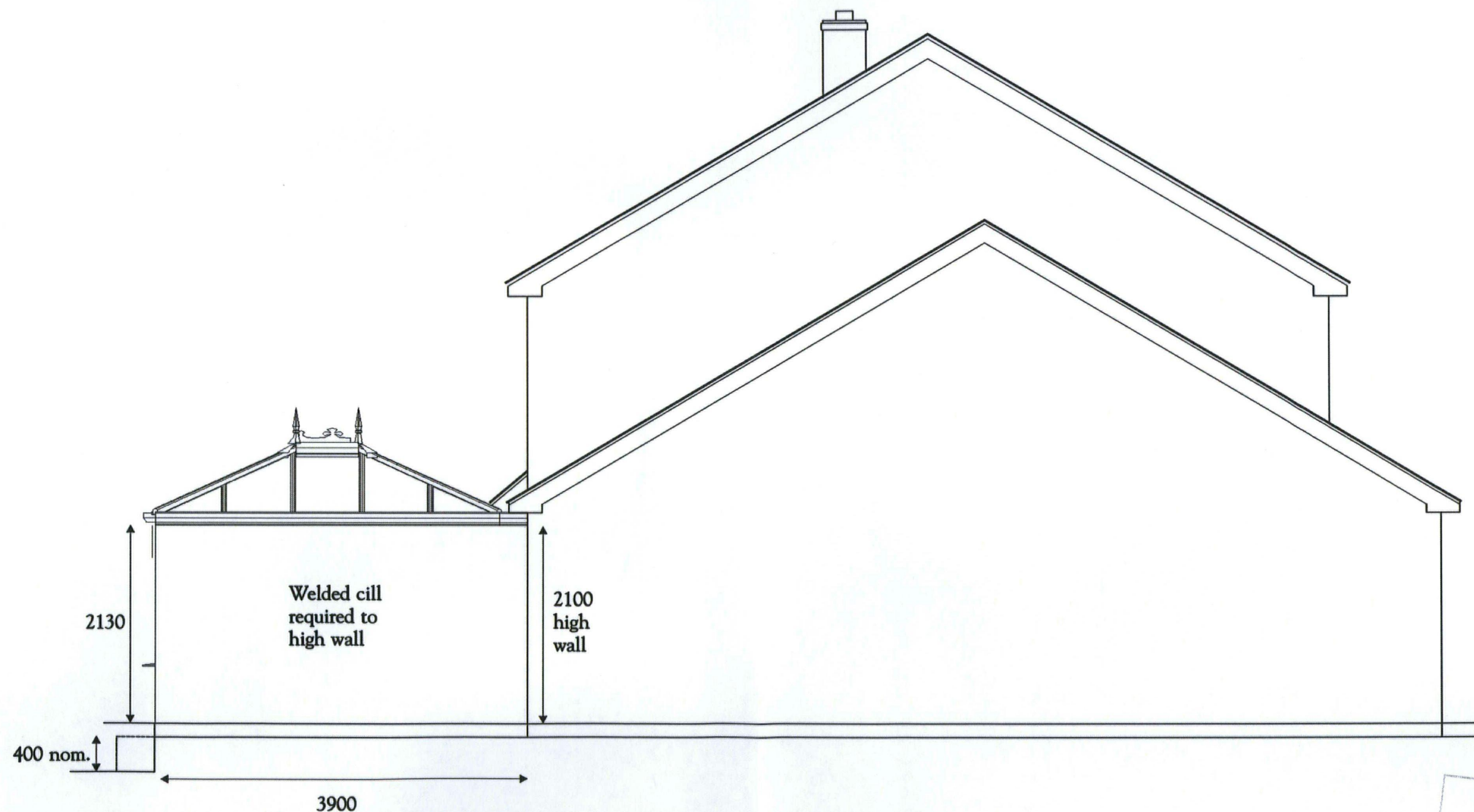
Conservatories  
the class behind glass



HEREFORDSHIRE COUNCIL  
PLANNING SERVICES  
DEVELOPMENT CONTROL  
21 NOV 2012  
To: .....  
Ack'd: .....  
File: .....

Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation : Existing Side Elevation	Unit Elevation :	Scale : 1 : 50 Date : 06/11/2012	Drawn : Graham Rose Contract Manager : Graham Rose
----------------------	-------------	-----------------------------	---	------------------	--	--





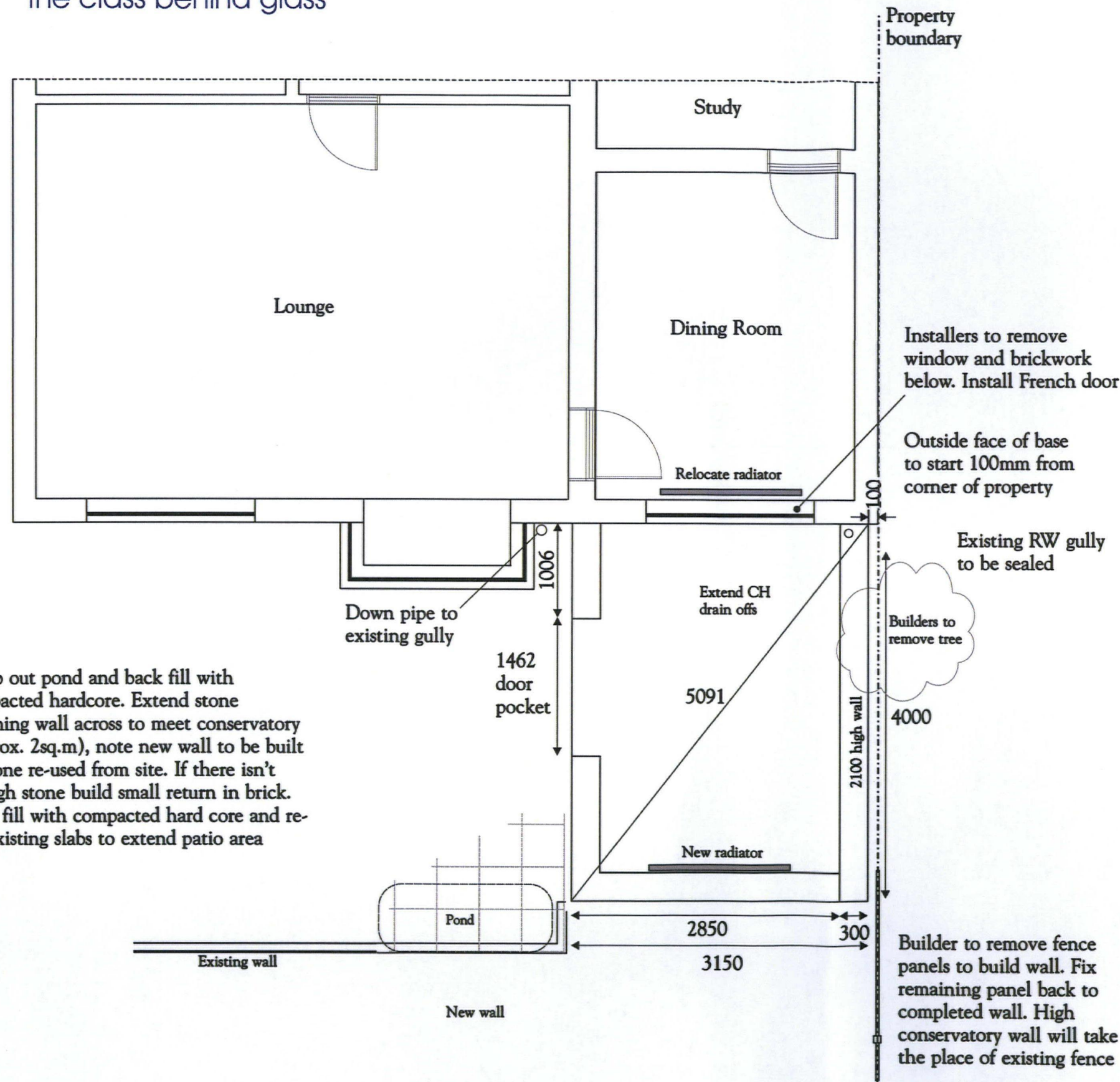
HEREFORDSHIRE COUNCIL  
 PLANNING SERVICES  
 DEVELOPMENT CONTROL  
 21 NOV 2012

Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation : Proposed Side Elevations	Unit Elevation :	Scale : 1 : 50 Date : 06/11/2012	Drawn : Graham Rose Contract Manager : Graham Rose
----------------------	-------------	-----------------------------	--	------------------	--	--



# GLEVUM

Conservatories  
the class behind glass



All Dimensions are to the outside face of the base.

Skip to go on drive.

100mm cavity.

Vertical DPC required.

Check house wall for plumb to establish correct datum point.

Don't build walls until electrician has completed first fix.

Floor and cavity wall insulation required.

Floor and cavity wall insulation required.

Rosewood outside, white inside. Clear glass to sides.

Ultraframe Classic roof with Activ Blue climate guard glass. 25 degree pitch.

White window handles, gold door handles.

White Polyboard internal cill boards.

600 dwarf wall and high wall to be brick outside, closest available match to existing including below DPC (County BS to identify). Block and plaster skim internally including house wall (6.2m).

Chamfered - round softwood skirting.

All to accept decoration by others.

Floor level to existing DPC height.

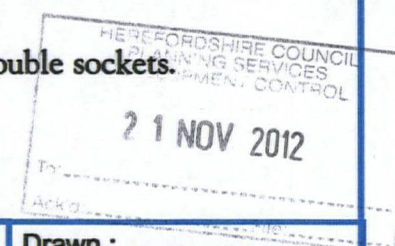
Lift all slabs within perimeter and re-use to new patio area.

1.5m deep foundations (from patio level) due to tree and made up ground.

Extra height on base 1.5m.

Glevum plumber to relocate existing radiator. Fit new radiator in conservatory and move drain offs to outside conservatory.

FHB042R remote fan with light. 2 double sockets.



Customer Signature :

Print to A3

Drawing Number :  
2012627

Property Elevation :  
Floor Plan

Unit Elevation :

Scale :  
1 : 50

Date : 06/11/2012

Drawn : Graham Rose

Contract Manager :  
Graham Rose



Order Ref : 2012627

Customer Name : Warren

Delivery Address : Broadoak

All dimensions are measured to Internal Ringbeam

Max. Ridge Height : Eaves Height (std 2100): 2130 Roof Pitch: 25

Transom Drop : 400 Dwarf Wall Height : 600/2100 Midrail Ht.(inc cill) :

**GLEVUM**  
Conservatories  
the class behind glass

Guttering :

Classic : ☐

Square Line : ☐

Uzone: ☐

Standard Specification :

Overall conservatory height is always measured to the top of the ridge cap

Ring beam type is always parabolic

30mm add-ons to any wall

150mm cill as standard

White round down pipe as standard

With Ultralite 500 roofs a 15mm add-on to the frame head is ALWAYS required EXCEPT where double doors are fitted to the front wall frames. In this instance a 65mm box section MUST be fitted and included in the OVERALL wall frame height.

Ultraframe Tie-Bar

Use 10mm aluminium coupler

When using a Ultraframe ventilated ridge/wall plate the wall plate length MUST be calculated to the OVERALL external frame width

Restrictors MUST be fitted to ALL open out doors

Frame Colour :

White : ☐

Woodgrain : ☐

Woodgrain / White : ☐

Light Oak : ☐

Light Oak / White : ☐

Rosewood : ☐

Rosewood / White : ☒

Bead Type : Feature ☒

Fully Featured Profile

Beaded :

Internally : ☒

Bay Poles :

Pole Assembly : ☐

Fixed Angle Assembly : ☐

Single Doors :-Cego Lock - Flag Hinge

Open In : ☐

Restrictor Open Out : ☐

Hinged Left : ☐

Hinged Right : ☐

Frame Glazing :

Glass Required : ☒

Panels Required : ☐

Cat Flap : ☐

Extras

French Doors :-Cego S/Lock - Flag Hinge

Open In : ☐

Restrictors Open Out : ☒

Prime Door Left : ☒

Prime Door Right : ☐

Patio Doors :

In-Line Slider : ☐

Handle Colour : Maxim

Windows :

Gold: ☐

White: ☒

Chrome: ☐

Doors

Gold: ☒

White: ☐

Chrome: ☐

Roof / Glazing :

Classic Ultraframe : ☒

Classic Low Pitch : ☐

Uzone Elevation : ☐

Ultralite 500 : ☐

25mm Polycarbonate : ☐

32mm Polycarbonate : ☐

Clear Polycarbonate : ☐

Bronze Polycarbonate : ☐

Opal Polycarbonate : ☐

Bronze / Opal Polycarbonate : ☐

Heatshield Polycarbonate : ☐

Pilkington "K" Glass : ☐

Clear Glass : ☐

Climate Guard Active Blue : ☒

Active Blue : ☐

Extras : Roof Vent :

Rafter to Rafter : ☒

Manual Vent : ☐

Electrical Vent : ☐

Ventilated Eaves : ☐

Ventilated Wall Plate : ☐

Box Gutter : ☒

Tie Bar Replacement Kit : ☐

Firrings, 2.5° OR 5° : ☐

Fan :

Fan Product Code Number

FHR042R

Fan or light supplied by others (allow 5 way tie bar if applicable) ☒

Please run through eSDG.

Conservatory Postcode:

Hr9 7XN

**Notes :**

Low PVCu threshold with 150 cill to doors

Always use chambered rafter top caps

**WELDED CILL TO HIGH WALL**



	Drawing Number : 2012627	Property Elevation :	Unit Elevation : Griffin Specification	Scale : 1 : 50	Drawn : Graham Rose
				Date : 06/11/2012	Contract Manager : Graham Rose



Answer ALL questions- YES, NO or N/A with details as necessary. The appropriate risk assessment section must be completed when the answer to any question from 11 - 35 is "YES" and 36-45 is "NO"

Nos.		Y / N	Comments
1	Is there a need to refer to the project file ?	Y	
2	Is it necessary to liaise with the contact person ?	Y	Glevum Customer
3	Have site rules been discussed and understood ?	N / A	
4	Is the work to be undertaken fully understood ?	Y	
5	Are the emergency procedures fully understood ?	N / A	Refer to details in site office
6	Is there an evacuation assembly area, if yes where ?	N	
7	Is regular contact with base necessary ?	Y	
8	Are there local security arrangements, If yes what ?	N	( Security Guards ) Badges
9	Is there a need for a written method statement ?	Y	Refer to Health & Safety Manual
10	Is a permit for work required ?	N	

A Risk Assessment will be required when the answer to ANY of the following questions is YES

Nos.		Y / N	Comments
11	Is assistance required ?	N	
12	Is the working environment hazardous ?	N	
13	Will bad weather affect the working environment ?	N	
14	Will the work involve working above water ?	N	
15	Will the work involve working in a roof void ?	N	
16	Will the work involve access onto a roof ?	N	
17	Will the work be at high / low level ?	Y	
18	Are there any unprotected openings / edges ?	Y	Never enter open excavations
19	Is there likely to be asbestos present ?	N	
20	Is the work in a confined space ?	N	
21	Are there high noise levels ?	Y	Drills, Disc Cutter,
22	Is the work adjacent to live services ?	N	
23	Is the work designated "hot work" ? See Q10	N	
24	Is the work adjacent to moving machinery ?	N	
25	Will lasers be used ?	N	
26	Does the work involve batteries ( acid / fumes ) ?	N	
27	Will the work involve compressed air ?	N	
28	Will the work affect other people nearby ?	Y	Occupants, Neighbours
29	Will electric hand tools be used ?	Y	Disc Cutters, Drills
30	Is lifting equipment required ?	N	
31	Is there a need for pressure testing ?	N	
32	Is there a need for electrical testing ?	Y	Electrician to carry out NIC EEC Test
33	Will hazardous substances be used ?	Y	Refer To C.O.S.H.H
34	Will special waste be generated ?	Y	Waste returned to base
35	Are there other vehicles on site ?	N	
36	Is there a risk of slip, trip or fall ?	Y	Refer To Health & Safety Manual
37	Will manual handling be involved ?	Y	Refer To Health & Safety Manual
38	Will FLT's be used by Glevum personnel ?	N	
39	Is additional testing required ?	N	

A Risk Assessment will be required when the answer to ANY of the following questions is NO

40	Is the correct access equipment available ?	Y	Scaffold tower available
41	Are the access / egress arrangement satisfactory ?	Y	
42	Are the light levels adequate ?	Y	
43	Am I competent to carry out the work ?	Y	
44	Is there a one way traffic system ?	N / A	
45	Do I have the correct tools to do the job ?	Y	

#### PPE Requirements

<input checked="" type="checkbox"/> Helmet	<input checked="" type="checkbox"/> Eyes	<input checked="" type="checkbox"/> Hearing	<input checked="" type="checkbox"/> Respiratory	<input type="checkbox"/> Safety Harness	<input checked="" type="checkbox"/> Hands
<input type="checkbox"/> Coverall	<input checked="" type="checkbox"/> Feet	<input type="checkbox"/> Torch	<input type="checkbox"/> Gas Monitor	<input type="checkbox"/> Communication Aid	<input type="checkbox"/> Face

#### Risk Assessment

Risk Evaluation			A risk rating higher than 6 or a POSSIBILITY or SEVERITY score of 5 requires immediate corrective action		
Possibility Of Injury ( P )			Low 1 2 3 4 5 High		
Severity Of Injury ( S )			Sight 1 2 3 4 5 Major/Death		
Hazard	Hazard Present Y / N	P	S	Risk Rating ( P x S )	Elimination/Reduction/Control Comments / Action
Help / Assistance					
Working Environment					
Weather Conditions					
Working Over Water					
Working At Heights	Y	2	2	4	Use tower / boards
Falls From Height	Y	2	2	4	Ladders to be footed
Access Equipment					
Asbestos					
Access / Egress					
Confined Spaces					
Below Ground Level	Y	2	2	4	Shore trenches, protect edges
Light Levels					
Noise / Vibration	Y	1	4	4	Use ear defenders
Live Services (mechanical)	Confirm position of any services within base area. Use Cable Avoidance				
Live Services (electrical)	Tool and transmitter to locate underground services if required				
Hot Work / Fire					
Moving Machinery					
Moving Equipment/Material					
Lasers / Microwaves					
Acids / Fumes (batteries)					
Compressed Air					
Protecting Others	Y	1	1	1	Fence off working area
Transporting Cash					
Lifting Equipment					
Systems Testing					
COSHH Assessments	Yes	1	1	1	Consult safety manual
Special Waste	Yes	1	1	1	Return to base
Inadequate Training					
Tools Equipment	Yes	2	2	4	Refer to Health & Safety Manual

# Health & Safety

GLEVUM 21 NOV 2012

Conservatories  
the class behind glass