

# GLEVUM

Conservatories

the class behind glass

Proposed : Conservatory  
 For : Mr & Mrs Warren  
 At : 12 Sandringham Close  
 Ross on Wye  
 Herefordshire  
 HR9 7XN  
  
 01989 563471

Surveyor : PLEASE CONFIRM THAT **ALL** OF THE DETAILS ON THIS DOCUMENT ARE CORRECT

Date :	Revision Detail :	By :	Approved By :

Drawing No.	2012627	Contracts Manager :	Graham Rose	Date :	06/11/2012
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There are four stage payment that you are required to make during the installation of your conservatory. The first 10% is the deposit (this will have already been paid to our Designer), the second 40% should be paid to the builder on completion of the base work, (unless you have provided your own base) The third, also 40%, should be paid to the installers when the frames are installed and glazed and the final payment of 10% will be collected by the final contractor, i.e. the electrician, plumber or floor tiler.

Note:

If you are purchasing your new conservatory on finance please refer to the terms & conditions relating to payment on your Purchase Agreement.

The Companies Contract Manager has discussed the above survey with me and I agree to the designs and other details finalised during his visit.

Customer Signature.		Date :	
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Notes for deferred installation :

Approval Required ?	Planning Enquiry ? <input type="checkbox"/>	Please tick where appropriate	
Planning permission	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Restrictive covenants	Yes <input type="checkbox"/> No <input type="checkbox"/>
Building regulation	Yes <input type="checkbox"/> No <input type="checkbox"/>	Housing association	Yes <input type="checkbox"/> No <input type="checkbox"/>
Listed building consent	Yes <input type="checkbox"/> No <input type="checkbox"/>	Builders consent	Yes <input type="checkbox"/> No <input type="checkbox"/>
Conservation area	Yes <input type="checkbox"/> No <input type="checkbox"/>	Landlords consent	Yes <input type="checkbox"/> No <input type="checkbox"/>
Neighbours consent	Yes <input type="checkbox"/> No <input type="checkbox"/>	3rd party wall act	Yes <input type="checkbox"/> No <input type="checkbox"/>

## EXTRA DEPTH FOUNDATIONS

If Glevum Conservatories have been contracted to build a base as part of the installation of your conservatory, it will be necessary for us to excavate a trench and lay footings for the brickwork. As you will appreciate it is impossible to know what will be underground until we start to dig.

Extra depth foundations may be required due to the position of trees, existing manholes or "made-up" ground within the proximity of your new conservatory. This will inevitably lead to an additional cost for the building work to cover the extra concrete, soil removal and labour charges. However, please note this additional work will be carried out at cost, and will be charged to yourselves by the linear metre and at 500mm depth increments.

Our standard depth foundation is 1000mm deep from ground level, and approximately 450mm wide. If during the excavation we find we need to exceed the 1000mm depth you will be informed immediately and a variation to contract ( VOC ) will need to be signed which will be your authority for us to continue the installation at the agreed cost.

### Electrical Regulations

As from January 2005 Glevum Conservatories are required by law to test the installation of your existing wiring. If it does not comply with IEE (Institute of Electrical Engineers) 17th Edition regulations we will be unable to make the final connections to your electrical system until all necessary remedial work has been completed to meet these regulations. Our electrician will be able to quote for any additional work that may be required.

HEREFORDSHIRE COUNCIL  
 PLANNING SERVICES  
 DEVELOPMENT CONTROL  
 21 NOV 2012

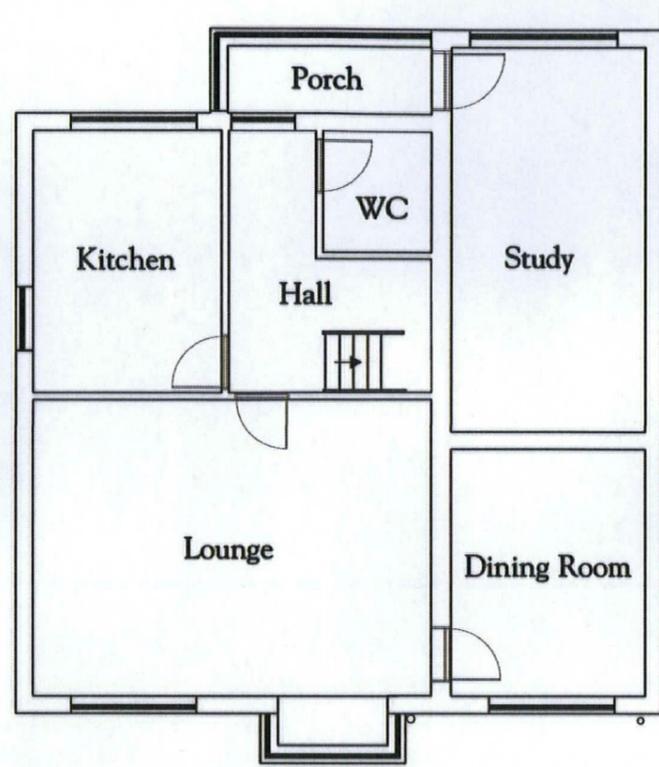
Customer Signature.		Date :	
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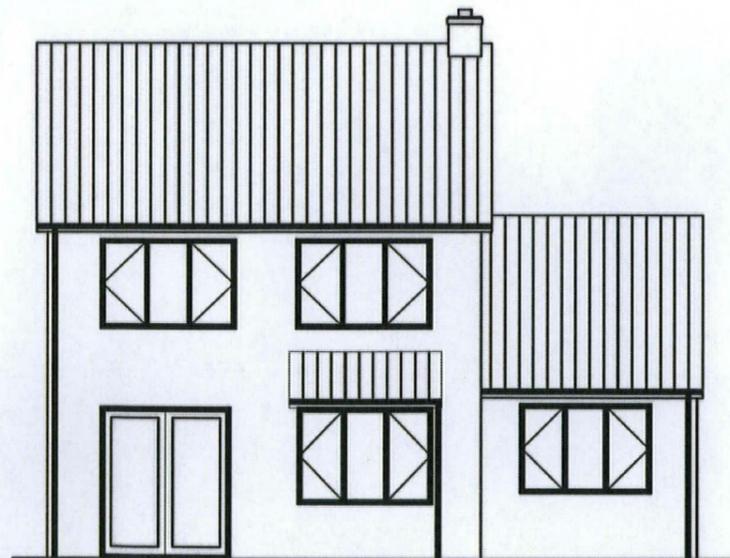
**GLEVUM**

Conservatories

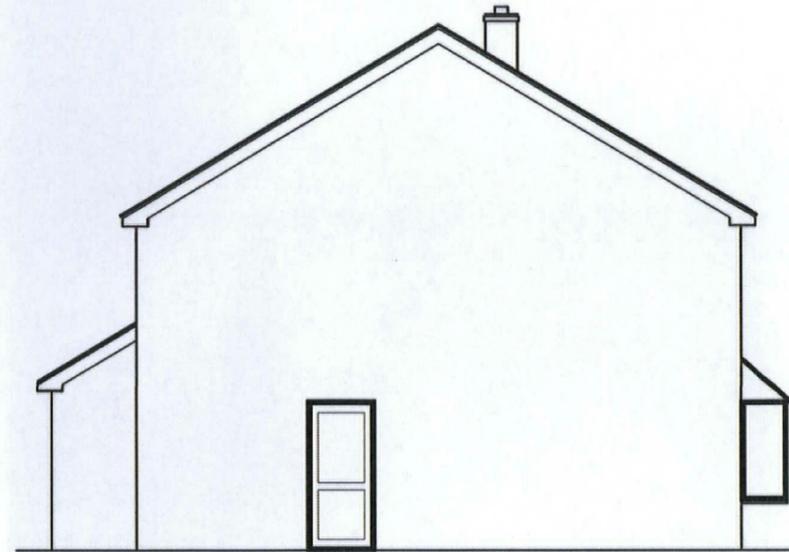
the class behind glass



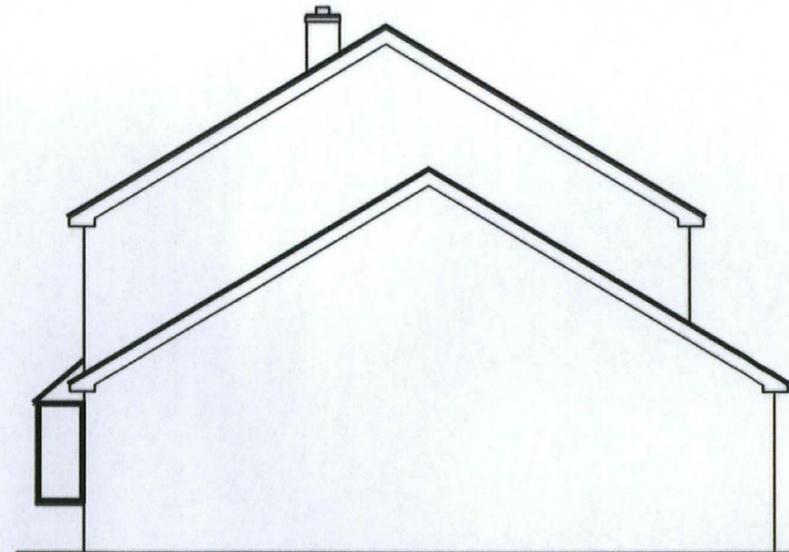
Ground Floor Plan



Rear



Side



Side

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DEVELOPMENT CONTROL  
21 NOV 2012  
To: \_\_\_\_\_  
Ack'd: \_\_\_\_\_ File: \_\_\_\_\_

Customer Signature :

Print to A3

Drawing Number :  
2012627

Property Elevation :  
Existing

Scale : 1 : 50

Drawn : Graham Rose

Date : 06/11/2012

Contract Manager :  
Graham Rose



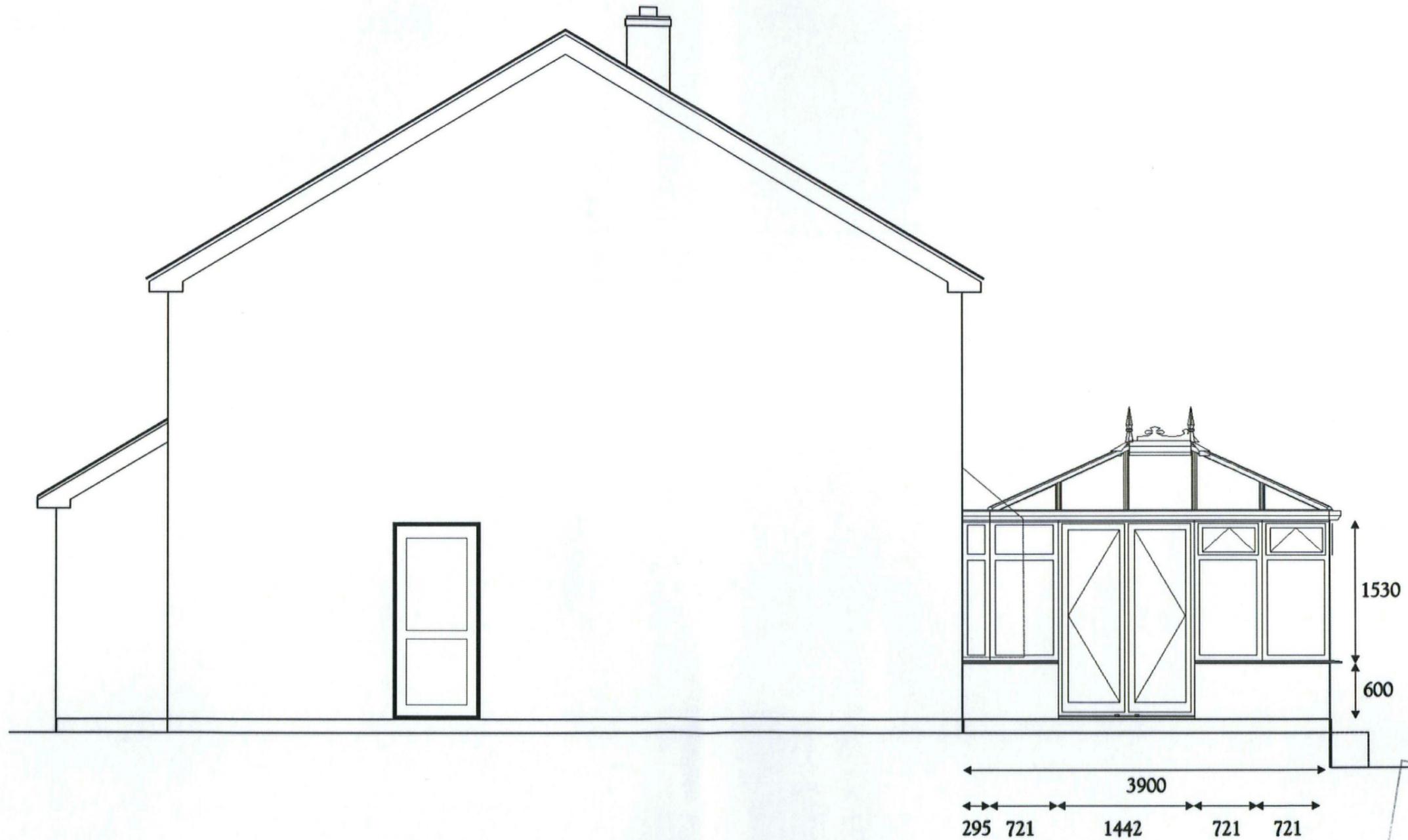
HEREFORDSHIRE COUNCIL  
 PLANNING SERVICES  
 DEVELOPMENT CONTROL  
 21 NOV 2012  
 To: \_\_\_\_\_  
 Ack'd: \_\_\_\_\_  
 File: \_\_\_\_\_

Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation :	Unit Elevation :	Scale : 1 : 50	Drawn : Graham Rose
					Date : 06/11/2012	Contract Manager : Graham Rose

**GLEVUM**

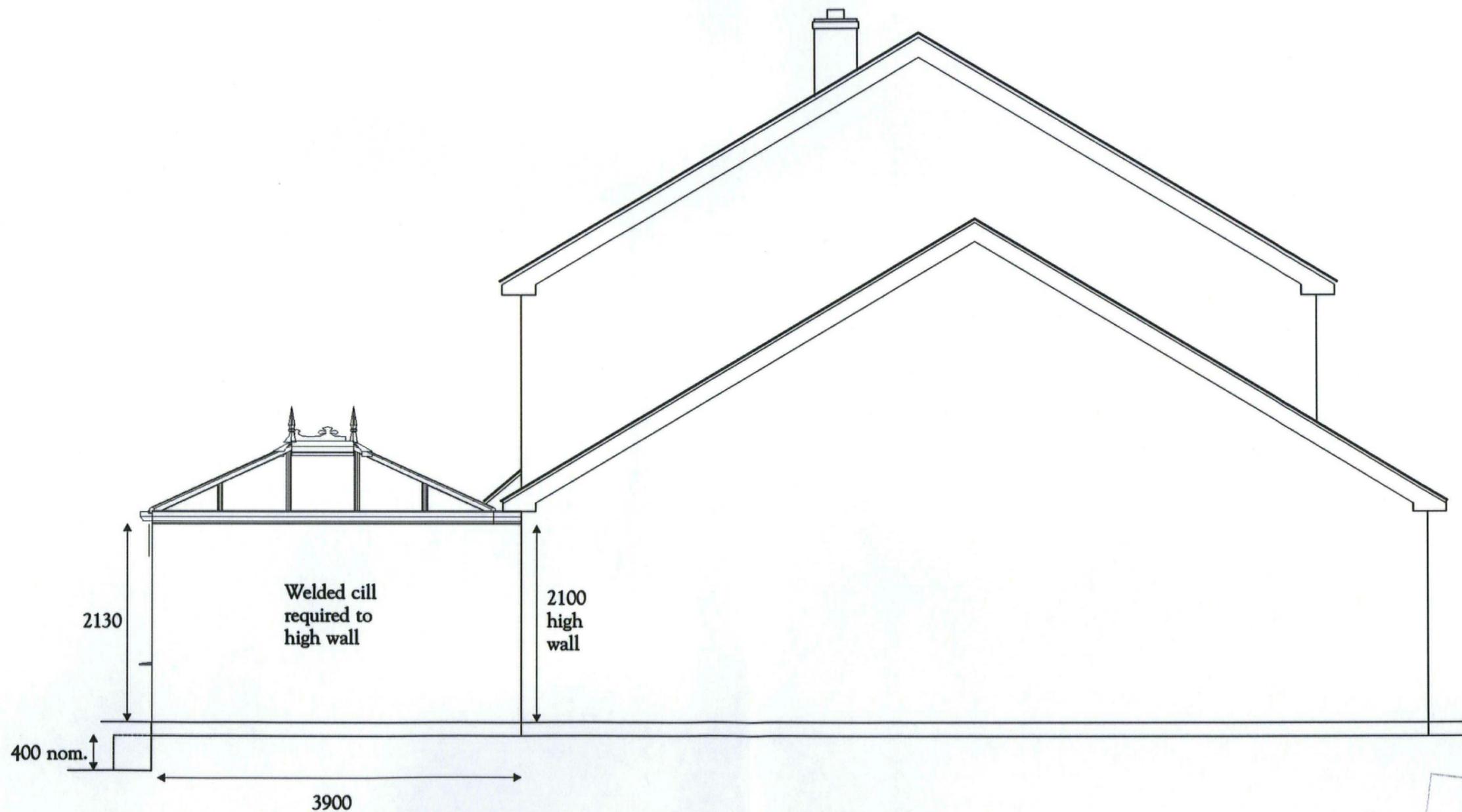
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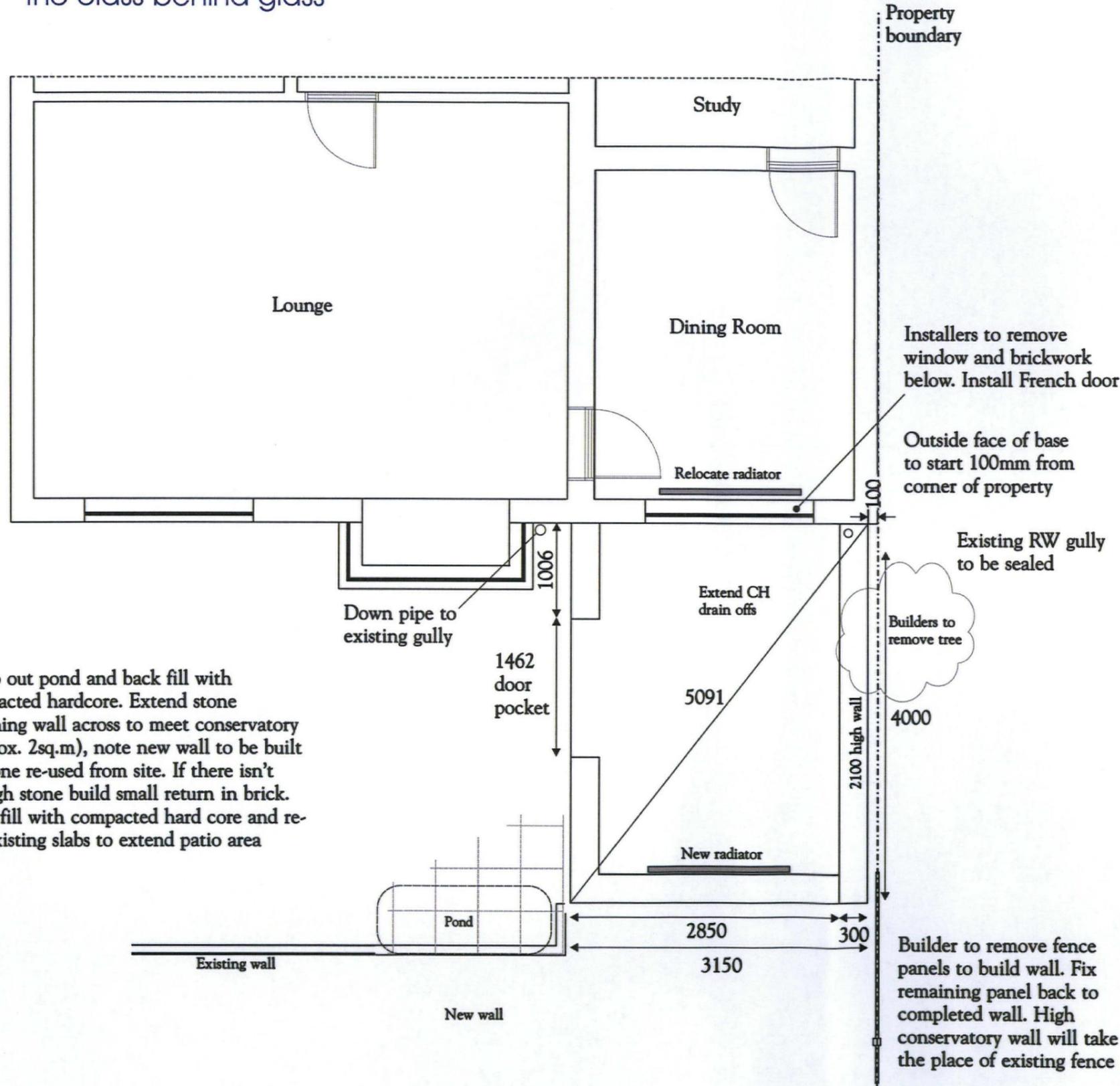
HEREFORDSHIRE COUNCIL  
PLANNING SERVICES  
DEVELOPMENT CONTROL  
21 NOV 2012  
To: \_\_\_\_\_  
Ack'd: \_\_\_\_\_  
File: \_\_\_\_\_

Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation : Existing Side Elevation	Unit Elevation :	Scale : 1 : 50	Drawn : Graham Rose
					Date : 06/11/2012	Contract Manager : Graham Rose



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Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation : Proposed Side Elevations	Unit Elevation :	Scale : 1 : 50	Drawn : Graham Rose
					Date : 06/11/2012	Contract Manager : Graham Rose



- All Dimensions are to the outside face of the base.
- Skip to go on drive.
- 100mm cavity.
- Vertical DPC required.
- Check house wall for plumb to establish correct datum point.
- Don't build walls until electrician has completed first fix.
- Floor and cavity wall insulation required.
- Floor and cavity wall insulation required.
- Rosewood outside, white inside. Clear glass to sides.
- Ultraframe Classic roof with Activ Blue climate guard glass. 25 degree pitch.
- White window handles, gold door handles.
- White Polyboard internal cill boards.
- 600 dwarf wall and high wall to be brick outside, closest available match to existing including below DPC (County BS to identify). Block and plaster skim internally including house wall (6.2m).
- Chamfered - round softwood skirting.
- All to accept decoration by others.
- Floor level to existing DPC height.
- Lift all slabs within perimeter and re-use to new patio area.
- 1.5m deep foundations (from patio level) due to tree and made up ground.
- Extra height on base 1.5m.
- Glevum plumber to relocate existing radiator. Fit new radiator in conservatory and move drain offs to outside conservatory.
- FHB042R remote fan with light. 2 double sockets.

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21 NOV 2012  
To: \_\_\_\_\_  
Ackd: \_\_\_\_\_

Customer Signature :	Print to A3	Drawing Number : 2012627	Property Elevation : Floor Plan	Unit Elevation :	Scale : 1 : 50	Drawn : Graham Rose
					Date : 06/11/2012	Contract Manager : Graham Rose

Order Ref : 2012627  
Customer Name : Warren  
Delivery Address : Broad oak

All dimensions are measured to Internal Ringbeam  
Max. Ridge Height : \_\_\_\_\_ Eaves Height (std 2100): 2130 Roof Pitch: 25  
Transom Drop : 400 Dwarf Wall Height : 600/2100 Midrail Ht.(inc cill) : \_\_\_\_\_

**Guttering :**  
Classic :   
Square Line :   
Uzone:

**Standard Specification :**  
Overall conservatory height is always measured to the top of the ridge cap  
Ring beam type is always parabolic  
30mm add-ons to any wall  
150mm cill as standard  
White round down pipe as standard  
With Ultralite 500 roofs a 15mm add-on to the frame head is ALWAYS required EXCEPT where double doors are fitted to the front wall frames. In this instance a 65mm box section MUST be fitted and included in the OVERALL wall frame height.  
Ultraframe Tie-Bar  
Use 10mm aluminium coupler  
When using a Ultraframe ventilated ridge/wall plate the wall plate length MUST be calculated to the OVERALL external frame width  
Restrictors MUST be fitted to ALL open out doors

**Frame Colour :**  
White :   
Woodgrain :   
Woodgrain / White :   
Light Oak :   
Light Oak / White :   
Rosewood :   
Rosewood / White :

**French Doors :-Cego S/Lock - Flag Hinge**  
Open In :   
Restrictors Open Out :   
Prime Door Left :   
Prime Door Right :   
**Patio Doors :**  
In-Line Slider :

**Bead Type :** \_\_\_\_\_ Feature   
Fully Featured Profile  
**Beaded :**  
Internally :

**Handle Colour :** Maxim  
**Windows :** Gold:   
White:   
Chrome:   
**Doors** Gold:   
White:   
Chrome:

**Bay Poles :**  
Pole Assembly :   
Fixed Angle Assembly :

**Roof / Glazing :**  
Classic Ultraframe :   
Classic Low Pitch :   
Uzone Elevation :   
Ultralite 500 :   
25mm Polycarbonate :   
32mm Polycarbonate :   
Clear Polycarbonate :   
Bronze Polycarbonate :   
Opal Polycarbonate :   
Bronze / Opal Polycarbonate :   
Heatshield Polycarbonate :   
Pilkington "K" Glass :   
Clear Glass :   
Climate Guard Active Blue :   
Active Blue :

**Single Doors :-Cego Lock - Flag Hinge**  
Open In :   
Restrictor Open Out :   
Hinged Left :   
Hinged Right :

**Fan :**  
Fan Product Code Number  
FHR042R  
Fan or light supplied by others (allow 5 way tie bar if applicable)

**Notes :**  
Low PVCu threshold with 150 cill to doors  
Always use chambered rafter top caps  
**WELDED CILL TO HIGH WALL**

**Frame Glazing :**  
Glass Required :   
Panels Required :   
Cat Flap :

**Extras**

**Extras : Roof Vent :**  
Rafter to Rafter :   
Manual Vent :   
Electrical Vent :   
Ventilated Eaves :   
Ventilated Wall Plate :   
Box Gutter :   
Tie Bar Replacement Kit :   
Firrings, 2.5° OR 5° :

Please run through eSDG.  
Conservatory Postcode:  
Hr9 7XN



Drawing Number : <u>2012627</u>	Property Elevation :	Unit Elevation : <u>Griffin Specification</u>	Scale : <u>1 : 50</u>	Drawn : <u>Graham Rose</u>
			Date : <u>06/11/2012</u>	Contract Manager : <u>Graham Rose</u>

Answer ALL questions- YES, NO or N/A with details as necessary. The appropriate risk assessment section must be completed when the answer to any question from 11 - 35 is "YES" and 36-45 is "NO"

Nos.		Y / N	Comments
1	Is there a need to refer to the project file ?	Y	
2	Is it necessary to liaise with the contact person ?	Y	Glevum Customer
3	Have site rules been discussed and understood ?	N / A	
4	Is the work to be undertaken fully understood ?	Y	
5	Are the emergency procedures fully understood ?	N / A	Refer to details in site office
6	Is there an evacuation assembly area, if yes where ?	N	
7	Is regular contact with base necessary ?	Y	
8	Are there local security arrangements, If yes what ?	N	( Security Guards ) Badges
9	Is there a need for a written method statement ?	Y	Refer to Health & Safety Manual
10	Is a permit for work required ?	N	

A Risk Assessment will be required when the answer to ANY of the following questions is YES

Nos.		Y / N	Comments
11	Is assistance required ?	N	
12	Is the working environment hazardous ?	N	
13	Will bad weather affect the working environment ?	N	
14	Will the work involve working above water ?	N	
15	Will the work involve working in a roof void ?	N	
16	Will the work involve access onto a roof ?	N	
17	Will the work be at high / low level ?	Y	
18	Are there any unprotected openings / edges ?	Y	Never enter open excavations
19	Is there likely to be asbestos present ?	N	
20	Is the work in a confined space ?	N	
21	Are there high noise levels ?	Y	Drills, Disc Cutter,
22	Is the work adjacent to live services ?	N	
23	Is the work designated "hot work" ? See Q10	N	
24	Is the work adjacent to moving machinery ?	N	
25	Will lasers be used ?	N	
26	Does the work involve batteries ( acid / fumes ) ?	N	
27	Will the work involve compressed air ?	N	
28	Will the work affect other people nearby ?	Y	Occupants, Neighbours
29	Will electric hand tools be used ?	Y	Disc Cutters, Drills
30	Is lifting equipment required ?	N	
31	Is there a need for pressure testing ?	N	
32	Is there a need for electrical testing ?	Y	Electrician to carry out NIC EEC Test
33	Will hazardous substances be used ?	Y	Refer To C.O.S.H.H
34	Will special waste be generated ?	Y	Waste returned to base
35	Are there other vehicles on site ?	N	
36	Is there a risk of slip, trip or fall ?	Y	Refer To Health & Safety Manual
37	Will manual handling be involved ?	Y	Refer To Health & Safety Manual
38	Will FLT's be used by Glevum personnel ?	N	
39	Is additional testing required ?	N	

A Risk Assessment will be required when the answer to ANY of the following questions is NO

Nos.		Y / N	Comments
40	Is the correct access equipment available ?	Y	Scaffold tower available
41	Are the access / egress arrangement satisfactory ?	Y	
42	Are the light levels adequate ?	Y	
43	Am I competent to carry out the work ?	Y	
44	Is there a one way traffic system ?	N / A	
45	Do I have the correct tools to do the job ?	Y	

#### PPE Requirements

<input checked="" type="checkbox"/> Helmet	<input checked="" type="checkbox"/> Eyes	<input checked="" type="checkbox"/> Hearing	<input checked="" type="checkbox"/> Respiratory	<input type="checkbox"/> Safety Harness	<input checked="" type="checkbox"/> Hands
<input type="checkbox"/> Coverall	<input checked="" type="checkbox"/> Feet	<input type="checkbox"/> Torch	<input type="checkbox"/> Gas Monitor	<input type="checkbox"/> Communication Aid	<input type="checkbox"/> Face

#### Risk Assessment

Risk Evaluation		A risk rating higher than 6 or a POSSIBILITY or SEVERITY score of 5 requires immediate corrective action						
Possibility Of Injury ( P )		Low	1	2	3	4	5	High
Severity Of Injury ( S )		Sight	1	2	3	4	5	Major/Death
Hazard	Hazard Present Y / N	P	S	Risk Rating ( P x S )	Elimination/Reduction/Control Comments / Action			
Help / Assistance								
Working Environment								
Weather Conditions								
Working Over Water								
Working At Heights	Y	2	2	4	Use tower / boards			
Falls From Height	Y	2	2	4	Ladders to be footed			
Access Equipment								
Asbestos								
Access / Egress								
Confined Spaces								
Below Ground Level	Y	2	2	4	Shore trenches, protect edges			
Light Levels								
Noise / Vibration	Y	1	4	4	Use ear defenders			
Live Services (mechanical)	Confirm position of any services within base area. Use Cable Avoidance							
Live Services (electrical)	Tool and transmitter to locate underground services if required							
Hot Work / Fire								
Moving Machinery								
Moving Equipment/Material								
Lasers / Microwaves								
Acids / Fumes (batteries)								
Compressed Air								
Protecting Others	Y	1	1	1	Fence off working area			
Transporting Cash								
Lifting Equipment								
Systems Testing								
COSHH Assessments	Yes	1	1	1	Consult safety manual			
Special Waste	Yes	1	1	1	Return to base			
Inadequate Training								
Tools Equipment	Yes	2	2	4	Refer to Health & Safety Manual			

# Health & Safety

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